

PLANNING COMMISSION STAFF REPORT

First Unitarian Church Conditional Use & Subdivision PLNPCM2011-00211 & PLNSUB2011-00212 569 South 1300 East Public Hearing: August 10, 2011



Planning Division
Department of Community
& Economic Development

Applicant:

Ed Dieringer, First Unitarian Church

Staff:

Michael Maloy, (801) 535-7118
michael.maloy@slcgov.com;

Daniel Echeverria, (801) 535-7757
daniel.echeverria@slcgov.com

Tax ID:

16-05-479-007, 004, & 003

Current Zone:

R-2- Single and Two Family Residential

Master Plan Designation:

Low Density Residential—Central
Community Master Plan (adopted November
2005)

Council District:

District 4 – Luke Garrott

Community Council:

Eastside Community Council
Gary Felt, Co-Chair
Esther Hunter, Co-Chair

Lot Size:

0.92 ± acres (≈ 40,013 square feet)

Current Use:

Place of Worship/Church

Applicable Land Use Regulations:

- Title 20 Subdivisions
- Section 21A.24.110 R-2 Single and Two Family Residential
- Section 21A.54.080 Conditional Uses
- Chapter 21A.52 Special Exceptions

Attachments:

- A. Proposed Building Plans
- B. Proposed Architectural Elevations
- C. Sample Materials
- D. Subject Property Photographs
- E. Preliminary Subdivision Plat
- F. Applicant's Subdivision Narrative
- G. Department Comments
- H. Community Council Input

Request

Ed Dieringer, in behalf First Unitarian Church, is requesting approval of a conditional use and preliminary subdivision plat to construct an addition to the primary structure that will add an office, restroom facilities, foyer, and elevator.

Recommendation

Based on the findings listed in the staff report, it is the opinion of Planning Staff that overall the project generally meets the applicable standards and therefore, recommends the Planning Commission approve the request with conditions.

Recommended Motion

Staff recommends the Planning Commission approve Petition PLNPCM2011-00211 for a conditional use and Petition PLNSUB2011-00212 for a preliminary subdivision comprised of one lot with the following conditions:

1. Applicant shall modify the height of the proposed addition to comply with the height restrictions of the R-2 District, or obtain a Special Exception permit for additional building height.
2. The proposed development shall be subject to compliance with all applicable comments and regulations as noted within Attachment G – Department Comments.
3. Applicant shall prepare and submit to the City a final subdivision application and plat.
4. Final subdivision plat shall be recorded within 18 months of preliminary approval.
5. Any future development associated with this property will require that all inadequate or absent public improvements be brought into compliance with City standards. Additionally, any future development will be subject to requirements of the zoning ordinance.

Vicinity Map



Background

Project Description

The applicant, Ed Dieringer, submitted petition PLNPCM2011-00211 for a conditional use to construct an expansion to a primary structure (see Attachment A – Proposed Building Plans, Attachment B – Proposed Architectural Elevations, and Attachment C – Sample Materials), and petition PLNSUB2011-00212 for preliminary approval of a minor subdivision (see Attachment E – Preliminary Subdivision Plat and Attachment F – Applicant’s Subdivision Narrative) located at 569 South 1300 East.

The applicant is proposing to build an addition to the structure that will contain approximately 1,550 gross square feet. The building footprint of the addition measures approximately 890 square feet. The proposed use for this addition, which is a “place of worship less than 4 acres in size,” is permitted as a conditional use in the

R-2 zoning district. As the size of this addition is over 1,000 square feet, the expansion of the use requires approval of a Conditional Use petition.

The applicant also intends to consolidate three separate lots into one lot. The new lot would contain 40,013 square feet of property. Currently, the applicant’s building extends across two of the three parcels. The subject parcels are zoned R-2 Single and Two Family Residential District. The proposed lot size exceeds the maximum area allowed within the R-2 zoning district. However, an exception is made within the City Code for parcels that are created by subdivision plat that follow specified standards.

Project History

The original building located at 569 S 1300 East was constructed in 1926, which predates the Salt Lake City zoning ordinance. Based on City records, previous additions to the building were constructed in 1960, which added an assembly area and class rooms, and again in 1992 (see Attachment D – Subject Property Photographs).

The parcel located immediately north of the church at 561 S 1300 East, which is one of three parcels proposed for consolidation, was previously occupied by a single family home constructed in 1937 and demolished in 2010. No building records were found for the third parcel located at 555 S 1300 East. According to the Salt Lake County Recorder, a warranty deed that transferred ownership of 561 S and 555 S 1300 East to the First Unitarian Church was recorded on March 25, 1997.

Project Details

Regulation	Zone Regulation	Proposal	Compliant
Use	Conditional Use	Place of worship less than 4 acres in size	Yes
Maximum Lot Area	18,000 square feet; exception for subdivision plats that follow standards	40,013 square feet	Yes
Density/Lot Coverage	Existing prior to 1995 is conforming; no requirement for non-family dwellings.	49.3%	Yes
Height	<ul style="list-style-type: none"> • 28' at roof pitch, or average of other principal buildings on block face • 20' for flat roof 	2 stories or 24'- 4" (for flat roof)	No
Minimum Front Yard Setback	20' (or average of block face)	23'	Yes
Corner Yard Setback	10'	29'	Yes
Minimum Side Yard Setback	4' - 0"	62'	Yes
Minimum Rear Yard Setback	25%, ≥15', ≤ 25'	7'	Yes (legal non-conforming)

Public Notice, Meetings and Comments

The following is a list of public meetings that have been held related to the proposed project:

- Eastside Community Council reviewed the project on June 9, 2011. Comments from the Community Council were received on August 3, 2011 and have been attached (see Attachment H – Community Council Input.)

Notice of the public hearing for the proposal includes:

- Public hearing notice mailed on July 28, 2011.
- Public hearing notice posted on property on July 29, 2011.
- Public hearing notice posted on City and State websites on July 28, 2011.
- Public hearing notice e-mailed to the Planning Division list serve on July 28, 2011.

Public Comments

Prior to publication of this report, staff did not receive any public comments for or against the proposal.

City Department Comments

Comments were solicited from all applicable City Departments and Divisions on May 26, 2011. All respondents recommended approval subject to compliance with City regulations and policies (see Attachment G – Department Comments).

Analysis and Findings

Conditional Use Standards

21A.54.080 B. Specific Standards: A conditional use permit shall be approved unless the evidence presented shows that one (1) or more of the standards set forth in this subsection cannot be met. The Planning Commission, or, in the case of administrative conditional uses, the Planning Director or the Director's designee, may request additional information as may be reasonably needed to determine whether the standards of this subsection can be met.

1. Master Plan and Zoning Ordinance Compliance: The proposed conditional use shall be:

- a. Consistent with any policy set forth in the City-Wide, Community, and Small Area Master plan and future land use map applicable to the site where the conditional use will be located, and
- b. Allowed by the zone where the conditional use will be located or by another applicable provision of this title.

Analysis: The *Central Community Master Plan* future land use plan provides direction on the future development in the area where the subject property is located. Specifically, the subject property is designated as “low density residential.” The property is zoned R-2, consistent with the master plan designation. However, “places of worship on lots less than 4 acres in size” are conditional uses in the R-2 zoning district, which requires additional review by the Planning Commission.

Finding: The specific use is a conditional use of the zoning district in which it is located and complies with this standard.

2. Use Compatibility: The proposed conditional use shall be compatible with the character of the site, adjacent properties, and existing development within the vicinity of the site where the use will be located. In determining compatibility, the Planning Commission shall consider:

- a. Whether the street or other means of access to the site where the proposed conditional use will be located will provide access to the site without materially degrading the service level on such street or any adjacent street;
- b. Whether the type of use and its location will create unusual pedestrian or vehicle traffic patterns or volumes that would not be expected with the development of a permitted use, based on:
 - i. Orientation of driveways and whether they direct traffic to major or local streets, and, if directed to local streets, the impact on the safety, purpose, and character of these streets;
 - ii. Parking area locations and size, and whether parking plans are likely to encourage street side parking for the proposed use which will adversely impact the reasonable use of adjacent property;
 - iii. Hours of peak traffic to the proposed use and whether such traffic will unreasonably impair the use and enjoyment of adjacent property; and
 - iv. Hours of operation of the proposed use as compared with the hours of activity/operation of

- other nearby uses and whether the use, during hours of operation, will be likely to create noise, light, or other nuisances that unreasonably impair the use and enjoyment of adjacent property;
- c. Whether the internal circulation system of any development associated with the proposed use will be designed to mitigate adverse impacts on adjacent property from motorized, non-motorized, and pedestrian traffic;
 - d. Whether existing or proposed utility and public services will be adequate to support the proposed use at normal service levels and will be designed in a manner to avoid adverse impacts on adjacent land uses, public services, and utility resources;
 - e. Whether appropriate buffering or other mitigation measures, such as, but not limited to, landscaping, setbacks, building location, sound attenuation, odor control, will be provided to protect adjacent land uses from excessive light, noise, odor and visual impacts and other unusual disturbances from trash collection, deliveries, and mechanical equipment resulting from the proposed use; and
 - f. Whether detrimental concentration of existing non-conforming or conditional uses substantially similar to the use proposed is likely to occur, based on an inventory of uses within one-quarter (1/4) mile of the exterior boundary of the subject property.

Analysis: Vehicular access to the property is provided via two off-site parking lots and on-street parking located on 600 South. All of the required parking for the place of worship is provided through agreements with neighboring property owners. The property located at 1320 East 500 South, known as Friendship Manor, provides eighty-seven (87) parking stalls for use by the Unitarian Church by way of a lease agreement. Access to this lot is provided on two driveways, one located on 1300 East and the other located on 500 South. Parking is also provided with a lease agreement with The McGillis School, located at 668 South 1300 East. The lot at this location provides fifty-five (55) parking spaces accessed from 1300 East.

Since the church has been operating for some time at this location, and the expansion only provides expanded bathroom facilities and one small office, the increase in traffic with the expansion will be minimal. As no addition is being made to the auditorium or assembly hall, the expansion does not require any additional parking.

Peak traffic will likely be on Sundays when services are held and there is no reason to expect that the proposed hours of operation will create noise, light or other nuisances that would impair the use and enjoyment of neighboring properties. Pedestrian and motorized traffic will remain at current levels.

The respective City Departments have found the utility and public services to be adequate to support the proposed addition. Although the addition requires the removal of two existing trees, additional landscaping is being provided as part of this proposal and no other uses are being added that would warrant other buffering or mitigation measures.

Within a quarter mile radius there is only one other property used as a place of worship, which is located two blocks away at 777 S 1300 East. As such staff finds that there is no detrimental concentration of non-conforming or conditional uses similar to the proposal in the area.

Finding: Staff finds that the proposed church expansion is compatible with the surrounding neighborhood, after consideration of the abutting streets and means of access, the anticipated traffic patterns and intensities, its internal circulation system and parking configuration, the required utilities to the site, and the concentration of conditional and non-conforming uses.

3. Design Compatibility: The proposed conditional use shall be compatible with the character of the area where the use will be located with respect to:

- a. Site design and location of parking lots, access ways, and delivery areas;
- b. Whether the proposed use, or development associated with the use, will result in loss of privacy, objectionable views of large parking or storage areas; or views or sounds of loading and unloading areas; and
- c. Intensity, size, and scale of development associated with the use as compared to development and uses in the surrounding area.
- d. If a proposed conditional use will result in new construction or substantial remodeling of a commercial or mixed-used development, the design of the premises where the use will be located shall conform to the conditional building and site design review standards set forth in Chapter 21A.59 of this title.

Analysis: The existing worship building, which is located along 1300 East, would remain essentially unchanged and a new addition would be built on the side of the building near the back. This new addition will be subservient to the primary structure and will not significantly alter the scale of the current development. The view from 1300 East will not be substantially affected.

Although the building neighbors some single family homes, it also is next to a large multi-story apartment building, the scale of which dominates the block. The intensity, size, and scale of the proposed addition to the church are similar to or less than the surrounding development in the area.

Finding: The proposal has been designed to be compatible with the surrounding neighborhood. There is no reason to believe that the proposed use would result in a loss of privacy or objectionable views. There are no loading or storage concerns for this use. Staff finds that the proposal meets a majority of the applicable site design review standards.

4. Detriment to Persons or Property: The proposed conditional use shall not, under the circumstances of the particular case and any conditions imposed, be detrimental to the health, safety, and general welfare of persons, nor be injurious to property and improvements in the community, existing surrounding uses, buildings, and structures. The proposed use shall:

- a. Not emit any known pollutant into the ground or air that will detrimentally affect the subject property or any adjacent property;
- b. Not encroach on any river or stream, or direct runoff into a river or stream;
- c. Not introduce any hazard or potential for damage to an adjacent property that cannot be mitigated;
- d. Be consistent with the type of existing uses surrounding the subject property; and
- e. Improve the character of the area by encouraging reinvestment and upgrading of surrounding properties.

Analysis: There is no evidence that the requested conditional uses would emit any pollution, encroach on or direct runoff into any river or stream, or introduce any hazard or potential for damage to adjacent properties. The use, as proposed, is compatible with the nature of the surrounding neighborhood.

Finding: The proposal meets this standard.

- 5. Compliance with Other Applicable Regulations:** The proposed conditional use and any associated development shall comply with any other applicable code or ordinance requirement.

Analysis: The subject property is located in the Bennion-Douglas Neighborhood, which is on the National Register of Historic Districts. However, this district is not recognized as a local Historic District and as such is not subject to the design guidelines of the Salt Lake City Historic District ordinance.

The height of the planned addition will require a Special Exception petition in order to comply with the R-2 zoning ordinance height requirements. The proposed addition ranges from 21' 0" to 24' 8" which is above the zoning ordinance height limit for flat roof structures of 20 feet. Though the ordinance provides an exception for peaked roof structures if they are within the average of the block face, there is no exception for flat roof structures. Staff recommends that this issue be a condition of approval for this petition.

Finding: The proposed conditional use does not require compliance with any other requirements beyond those previously described herein. Staff finds that the proposal meets the standard if a Special Exception is obtained.

Subdivision Standards

Standards: Ordinance 20.20.070 lists the standards that have to be met for a minor subdivision to be approved. These standards are listed below:

A. The minor subdivision will be in the best interests of the city.

Analysis: The proposed minor subdivision will consolidate three existing parcels into one parcel. The existing building already extends across two of the three underlying existing parcels. Consolidating the parcels will reduce the complexity of any other petitions submitted by the applicant and could reduce processing time for the City. The proposed use is compliant with the Central Community Master Plan and the underlying zoning districts.

Finding: Staff finds that the proposed subdivision is in the best interest of the city.

B. All lots comply with all applicable zoning standards.

Analysis: The proposal exceeds the maximum lot area allowed within the R-2 Single and Two Family Zoning District; however, the ordinance provides an exception for lots created by subdivision plat. The standards include that:

1. The size of the new lot is compatible with other lots on the same block face;
2. The configuration of the lot is compatible with other lots on the same block face; and
3. The relationship of the lot width to the lot depth is compatible with other lots on the same block face.

The size of the proposed consolidated lot at .92 acres would favorably compare to the average value of .93 acres per parcel for the same block face, and thus would meet standard 1. The configuration of the lot, being rectangular, matches those of the other lots on the block face, which is compliant with standard 2. With regard to standard 3, the proposed parcel's ratio of lot width to lot depth is .69; this is similar to the average ratio of lot width to lot depth on the block face of .58 and is thus compatible with other lots on the block.

The proposed lot complies with all other applicable zoning standards.

Finding: Staff finds that the proposed lot will comply with all applicable zoning standards.

C. All necessary and required dedications are made.

Analysis: All necessary and required dedications will be made with the recording of the final plat.

Finding: Staff finds that all necessary and required dedications will be made upon recordation of the final subdivision plat.

D. Provisions for the construction of any required public improvements are included.

Analysis: All plans for required public improvements must be submitted and approved prior to approval of the final plat. Salt Lake City Public Utilities and Transportation Division have reviewed the proposed subdivision and recommend approval subject to compliance with City policies and regulations (see Attachment G – Department Comments).

Finding: Staff finds that provisions for construction of any required public improvement will be included as part of the final plat process.

E. The subdivision otherwise complies with all applicable laws and regulations.

Analysis: The proposed subdivision is subject to numerous applicable laws and regulations. To assess compliance with these regulations, staff forwarded the attached plans to all pertinent City Departments for comment. In addition to the regulations discussed within this staff report, all subdivision improvements will comply with all applicable City Departmental standards.

Finding: Staff finds that the proposed subdivision is compliant or will be made compliant with all applicable laws and regulations.

Attachment A
Proposed Building Plans

TOPOGRAPHIC SURVEY
 LOCATED IN, PLAT "4" OF BLOCKS 15, 16, 17, 18, 23, 24
 OFFICIAL SURVEY OF PLAT "F", SALT LAKE CITY SURVEY
 SALT LAKE BASE AND MERIDIAN, SALT LAKE COUNTY, UTAH
 FEBRUARY 2009

DAVID & SUSAN ANDERSON



NARRATIVE AND DISCLAIMER:
 THE PURPOSE OF THIS SURVEY IS TO PROVIDE SPECIFIC TOPOGRAPHIC DATA ACCORDING TO THE REQUEST OF THE PROPERTY OWNER.
 THIS IS NOT A BOUNDARY OR ALTA SURVEY.
 THE SURVEY IS NOT A PART OF ANY SALES AGREEMENT. IT DOES NOT INTEND TO SHOW THE VALUE OR ZONING OF THE SAME.
 THE OWNER SHOULD BE AWARE OF ANY ITEMS AFFECTING THE PROPERTY THAT MAY NOT APPEAR IN A TITLE INSURANCE REPORT.

OWNER INFORMATION
First Unitarian Church
 569 South 1300 East
 Salt Lake City, Utah

PROJECT DESCRIPTION
Addition and Remodel

SHEET NAME:
TOPOGRAPHIC SURVEY
02.10.09

REVISIONS

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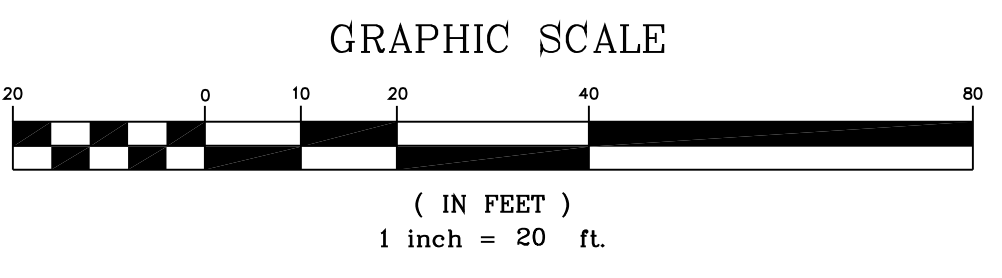
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 ISSUE TYPE: CONDOC
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 CHECKED BY: [Signature]
 CAD FILE NAME: 0817GI009

SURVEYOR'S CERTIFICATE

I, KEVIN P. LONG, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR AND THAT I HOLD CERTIFICATE NO. 190633 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT A SURVEY HAS BEEN MADE OF THE LAND SHOWN AND DESCRIBED HEREON. I FURTHER CERTIFY THAT THIS SURVEY IS A CORRECT REPRESENTATION OF THE LAND SURVEYED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS AND REQUIREMENTS OF THE LAW.

KEVIN P. LONG



LAYTON SURVEYS
 Professional Land Surveying
 (801) 698-5997 www.gpsdatacapture@aol.com
 2420 West 1830 South
 Syracuse, UT 84075

Topographic Survey
 First Unitarian Church
 569 South 1300 East
 Salt Lake Base & Meridian, Salt Lake County, Utah

Surveyed By: Kevin Long
 Scale: 1"=20'
 Date: February 2009

Prepared For: First Unitarian Church
 Job No: 2009-2
 Drawing: Unitarian Church.dwg
 Sheet: 1 of 1

SALT LAKE COUNTY RECORDER
 STATE OF UTAH, COUNTY OF SALT LAKE, RECORDED AND FILED
 AT THE REQUEST OF _____
 DATE: _____ TIME: _____ BOOK: _____ PAGE: _____
 FEE _____ CHIEF DEPUTY: SALT LAKE COUNTY RECORDER

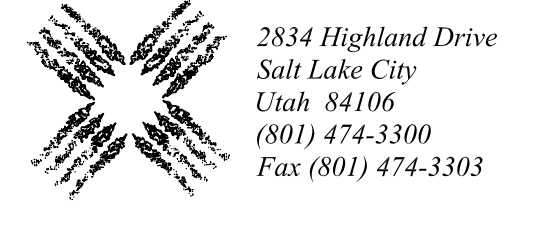
SHEET NUMBER:

GI009



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OWNER INFORMATION

First Unitarian Church
 569 South 1300 East
 Salt Lake City, Utah

PROJECT DESCRIPTION

Addition and Remodel

SHEET NAME:

LANDSCAPE PLAN

REVISIONS

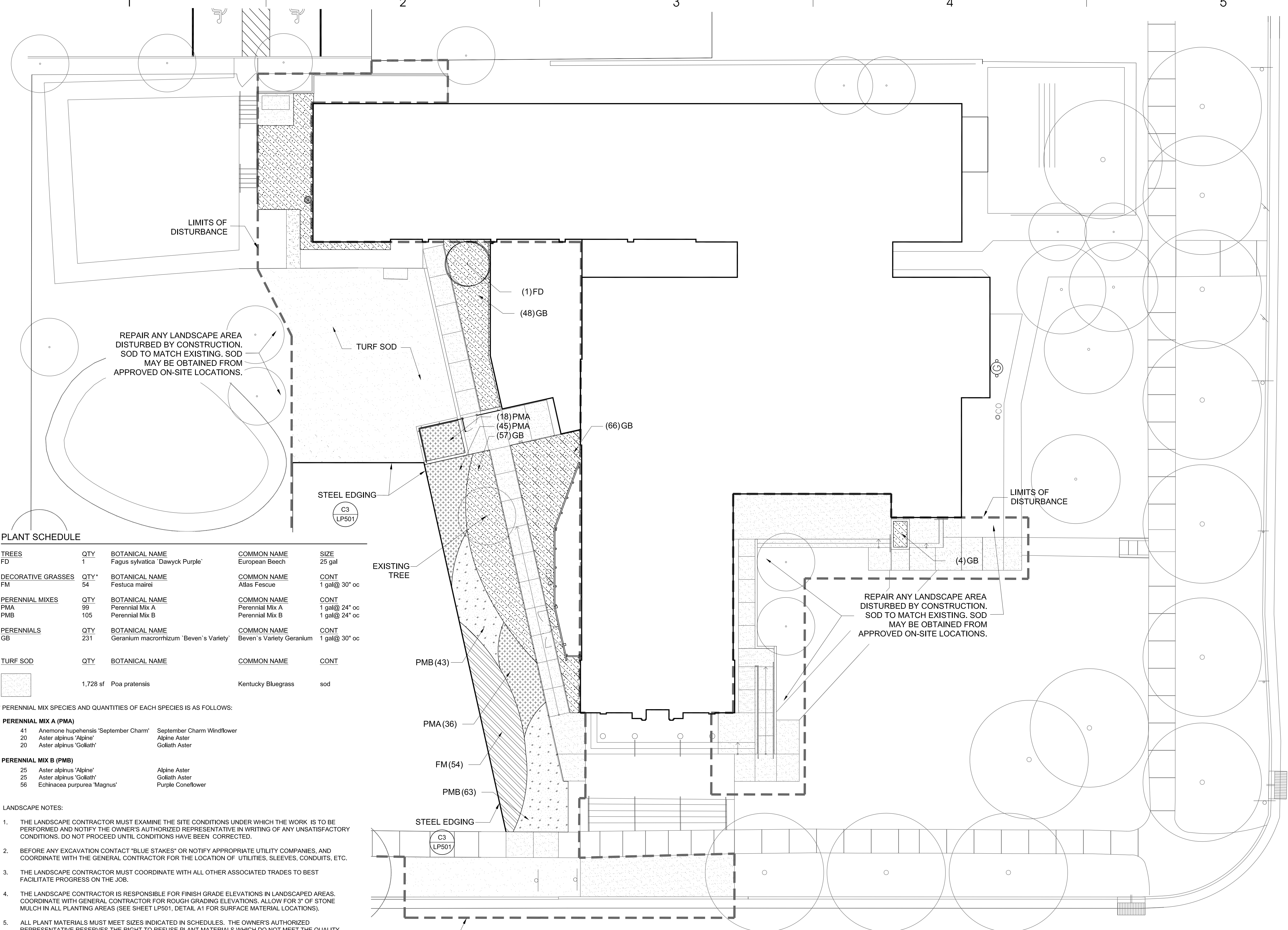
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CHECKED BY:	M. VLASIC
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LP101



PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
FD	1	Fagus sylvatica 'Dawycck Purple'	European Beech	25 gal

DECORATIVE GRASSES	QTY*	BOTANICAL NAME	COMMON NAME	CONT
FM	54	Festuca mairei	Atlas Fescue	1 gal@ 30" oc

PERENNIAL MIXES	QTY	BOTANICAL NAME	COMMON NAME	CONT
PMA	99	Perennial Mix A	Perennial Mix A	1 gal@ 24" oc
PMB	105	Perennial Mix B	Perennial Mix B	1 gal@ 24" oc

PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	CONT
GB	231	Geranium macrorrhizum 'Beven's Variety'	Beven's Variety Geranium	1 gal@ 30" oc

TURF SOD	QTY	BOTANICAL NAME	COMMON NAME	CONT
	1,728 sf	Poa pratensis	Kentucky Bluegrass	sod

* PERENNIAL MIX SPECIES AND QUANTITIES OF EACH SPECIES IS AS FOLLOWS:

PERENNIAL MIX A (PMA)

41	Anemone hepuehensis 'September Charm'	September Charm Windflower
20	Aster alpinus 'Alpine'	Alpine Aster
20	Aster alpinus 'Gollath'	Gollath Aster

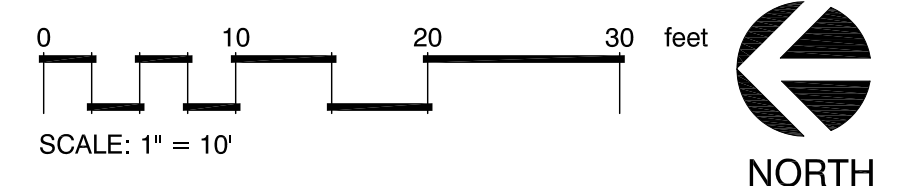
PERENNIAL MIX B (PMB)

25	Aster alpinus 'Alpine'	Alpine Aster
25	Aster alpinus 'Gollath'	Gollath Aster
56	Echinacea purpurea 'Magnus'	Purple Coneflower

LANDSCAPE NOTES:

1. THE LANDSCAPE CONTRACTOR MUST EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE OWNER'S AUTHORIZED REPRESENTATIVE IN WRITING OF ANY UNSATISFACTORY CONDITIONS. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
2. BEFORE ANY EXCAVATION CONTACT "BLUE STAKES" OR NOTIFY APPROPRIATE UTILITY COMPANIES, AND COORDINATE WITH THE GENERAL CONTRACTOR FOR THE LOCATION OF UTILITIES, SLEEVES, CONDUITS, ETC.
3. THE LANDSCAPE CONTRACTOR MUST COORDINATE WITH ALL OTHER ASSOCIATED TRADES TO BEST FACILITATE PROGRESS ON THE JOB.
4. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISH GRADE ELEVATIONS IN LANDSCAPED AREAS. COORDINATE WITH GENERAL CONTRACTOR FOR ROUGH GRADING ELEVATIONS. ALLOW FOR 3" OF STONE MULCH IN ALL PLANTING AREAS (SEE SHEET LP501, DETAIL A1 FOR SURFACE MATERIAL LOCATIONS).
5. ALL PLANT MATERIALS MUST MEET SIZES INDICATED IN SCHEDULES. THE OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED OF THE PROJECT.
6. ANY PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE CONTRACTOR ONLY. CONTRACTOR TO VERIFY ALL PLANT QUANTITIES REQUIRED AND PROVIDE THE PLANTS NECESSARY TO COMPLETE THE PLANTINGS.
7. TOPSOIL IS REQUIRED. 12" MINIMUM DEPTH IN ALL DECORATIVE GRASS AND PERENNIAL AREAS.
8. LANDSCAPE FABRIC TO BE IN ALL LANDSCAPE AREAS.
9. PERENNIAL MIXES TO BE PLANTED IN RANDOM GROUPS OF 5 TO 7 PLANTS OF THE SAME SPECIES. ALL PLANT MIXES TO USE TRIANGULAR SPACING AT THE DISTANCES SPECIFIED IN THE PLANT SCHEDULE.
10. EXISTING LANDSCAPE AREAS MAY BE DAMAGED DURING CONSTRUCTION THAT ARE NOT INDICATED ON THESE DRAWINGS. REPAIR ALL EXISTING LANDSCAPE DAMAGED AS A RESULT CONSTRUCTION ACTIVITIES.

This design indicates relationships based on survey data obtained from other parties and field observation by Landmark Design, Inc. to meet the requirements of this project. The subsequent accuracy of this document while considered reliable is not warranted or guaranteed. Although this document is intended for use during construction, the actual conditions encountered on site may require the modification of information contained herein.



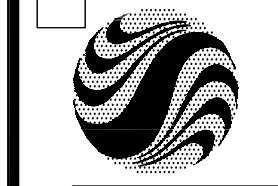
600 SOUTH

1300 EAST

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OWNER INFORMATION

First Unitarian Church
569 South 1300 East
Salt Lake City, Utah

PROJECT DESCRIPTION

Addition and Remodel

SHEET NAME:

GRADING AND DRAINAGE PLAN

REVISIONS

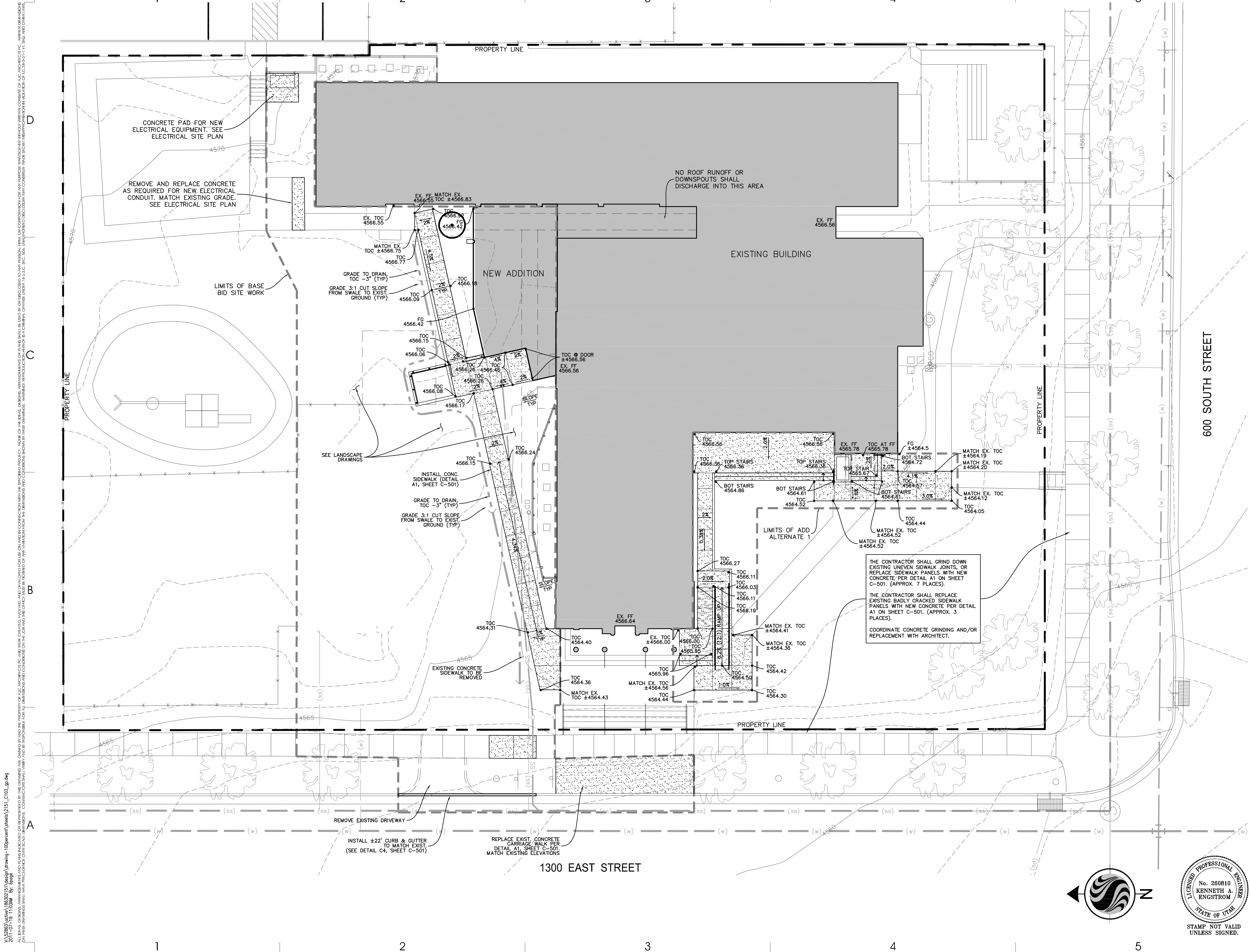
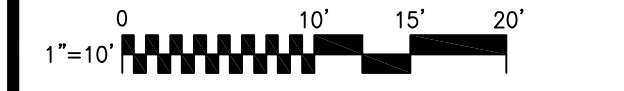
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KEYED NOTE LEGEND:

- *FOR SHEET AS102 ONLY.
- (A) CONCRETE ADA RAMP.
 - (B) STEEL HANDRAIL - PAINT.
 - (C) MATCH PROFILE OF EXISTING STAIR TREADS AND RISERS.
 - (D) TREE. TYP. SEE LANDSCAPE DRAWINGS.
 - (E) EXISTING PEACE GARDEN TO REMAIN.
 - (F) 8' WIDE DOUBLE GATE, 1x6 CEDAR OVER 2"x2" TUBE STEEL WITH CANE BO.
 - (G) NEW FENCE AND GATE. SEE ENLARGED PLAN AS105.
 - (H) 6' TALL FENCE, 1x6 CEDAR ON 4x4 CEDAR POSTS UNO.
 - (J) PROVIDE NEW CURB AND GUTTER. PATCH ASPHALT AS NEEDED FOR UTILITY

KEYED NOTE LEGEND (CONT.):

- *FOR SHEET AS102 ONLY.
- DRAWINGS:
- (K) CONCRETE SPLASH BLOCK
 - (L) ALIGN NOSING OR CONC EDGE W/ BUILDING CORNER
 - (M) CONCRETE STAIRS. SEE CIVIL DRAWINGS.
 - (N) CONCRETE SIDEWALK. SEE CIVIL DRAWINGS.
 - (P) 5" REINFORCED CONCRETE PAD. SEE ELECTRICAL DRAWINGS.
 - (Q) CONCRETE RETAINING WALL.
 - (R) SWITCH GEAR. SEE ELECTRICAL DRAWINGS.
 - (S) EXISTING TREE, PROTECT.

KEYED NOTE LEGEND (CONT.):

- *FOR SHEET AS102 ONLY.

KEYED NOTE LEGEND (CONT.):

- *FOR SHEET AS102 ONLY.



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OWNER INFORMATION

First Unitarian Church
 569 South 1300 East
 Salt Lake City, Utah

PROJECT DESCRIPTION

Chapel Addition & Revovation

SHEET NAME:

ARCHITECTURAL SITE PLAN

REVISIONS

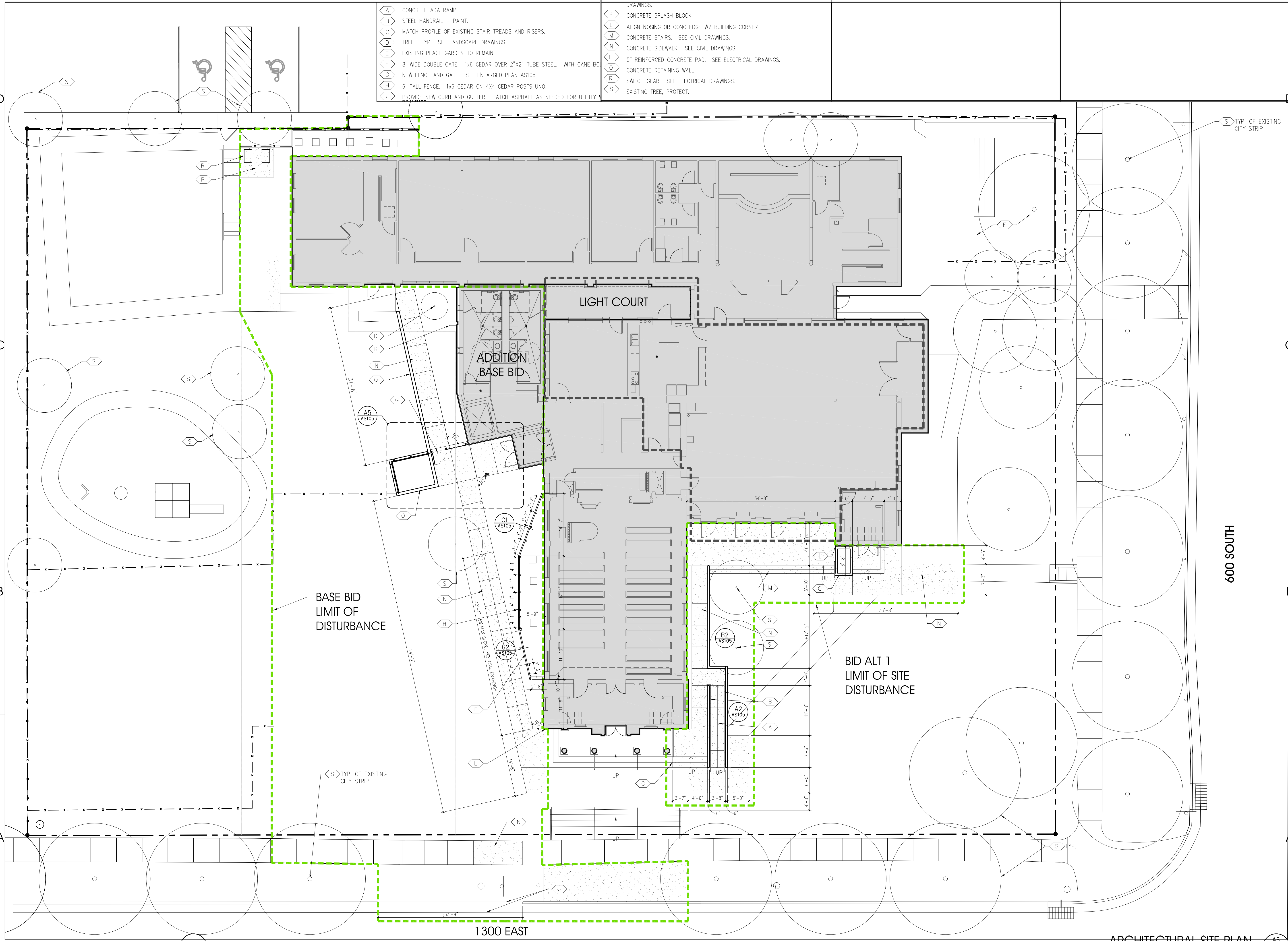
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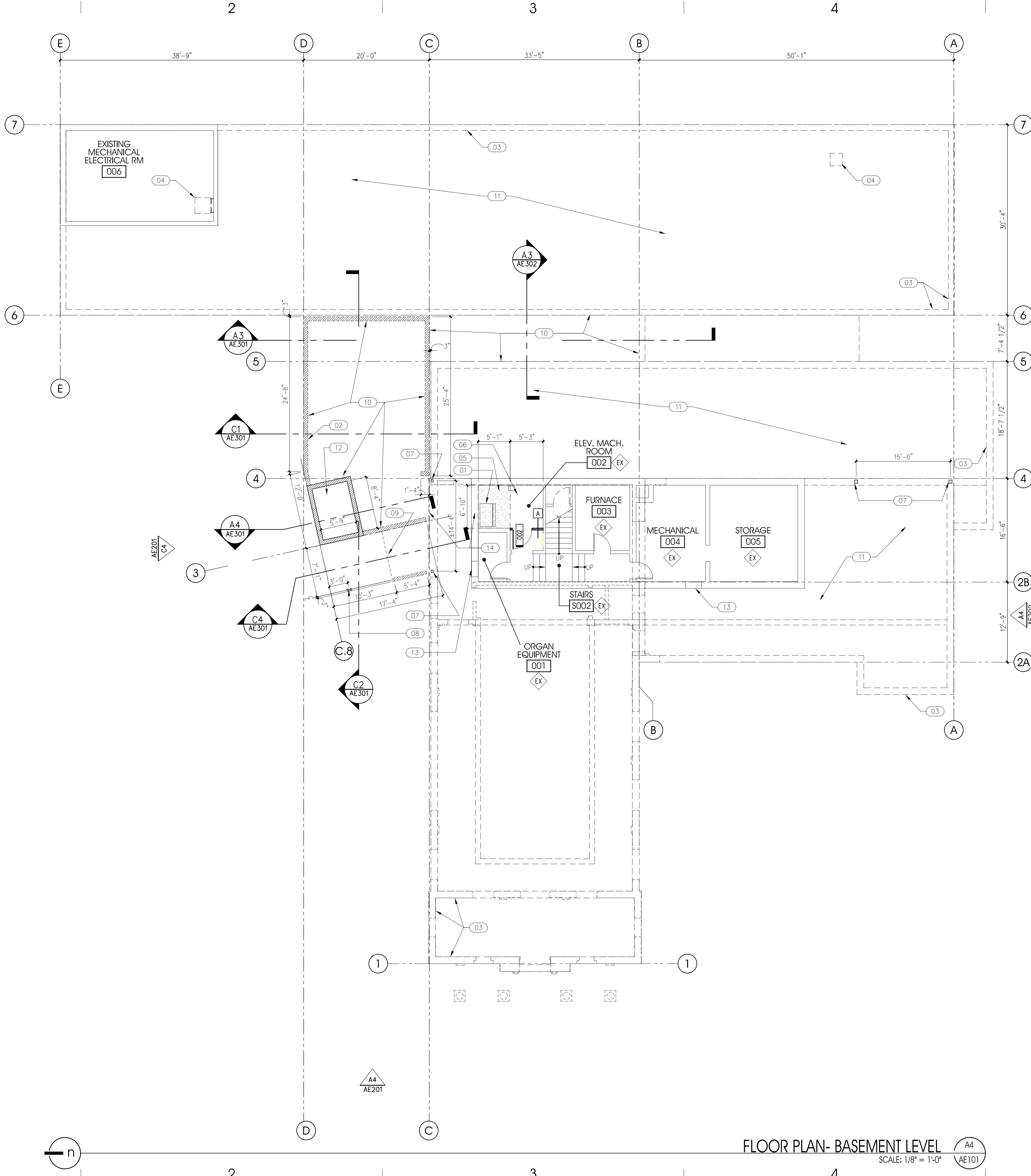
ISSUE DATE: MAY 2010
 ISSUE TYPE: DESDEV
 DRAWN BY: C. C. WHEATLEY
 CHECKED BY: K. RIGBY
 CAD FILE NAME: 0817AS102

SHEET NUMBER:

AS102



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GENERAL NOTES AND LEGEND:

- *FOR SHEET AE101 ONLY.
- SEE SHEET G007 FOR GENERAL NOTES.
 - SEE COVER SHEET G001 FOR DRAWING INDEX.
 - DO NOT SCALE DRAWINGS.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.
- ◊ EX EXISTING FLOOR FINISHES TO REMAIN U.N.O.

KEYED NOTE LEGEND:

- *FOR SHEET AE101 ONLY.
- (01) ELEVATOR EQUIPMENT. SEE SPECS.
 - (02) CMU WALLS ABOVE SHOWN HATCHED.
 - (03) EXISTING WALLS ABOVE SHOWN DASHED.
 - (04) ACCESS HATCH ABOVE.
 - (05) GYP. BD. CEILING ABOVE, SHOWN HATCHED, 1HR RATED 2 LAYERS 5/8" TYPE X GYP BD ATTACHED TO UNDERSIDE OF FLOOR STRUCTURE, FINISH AND PAINT.
 - (06) PROVIDE 1 HOUR FIRE RATING ALL WALLS AND CEILING OF ELEVATOR MACHINE ROOM.
 - (07) COLUMN ABOVE. SEE STRUCTURAL DRAWINGS.
 - (08) DOUBLE COLUMN ABOVE. SEE STRUCTURAL DRAWINGS.
 - (09) EDGE OF CONCRETE SLAB ABOVE.
 - (10) SLAB ON GRADE ABOVE.
 - (11) EXISTING CRAWL SPACE TO REMAIN. NO NEW VENTILATION PROVIDED AS PART OF THIS PROJECT.
 - (12) ELEVATOR PIT.
 - (13) EXISTING CRAWLSPACE ACCESS.
 - (14) CORE DRILL EXIST FND. AS REQ'D FOR ELEVATOR CABLING AND PIPING.

ARCHITECT 0817

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OWNER INFORMATION

First Unitarian Church
 569 South 1300 East
 Salt Lake City, Utah

PROJECT DESCRIPTION

Addition and Remodel

SHEET NAME:

**FLOOR PLAN
 BASEMENT LEVEL**

REVISIONS

MARK	DATE	DESCRIPTION

ISSUE DATA

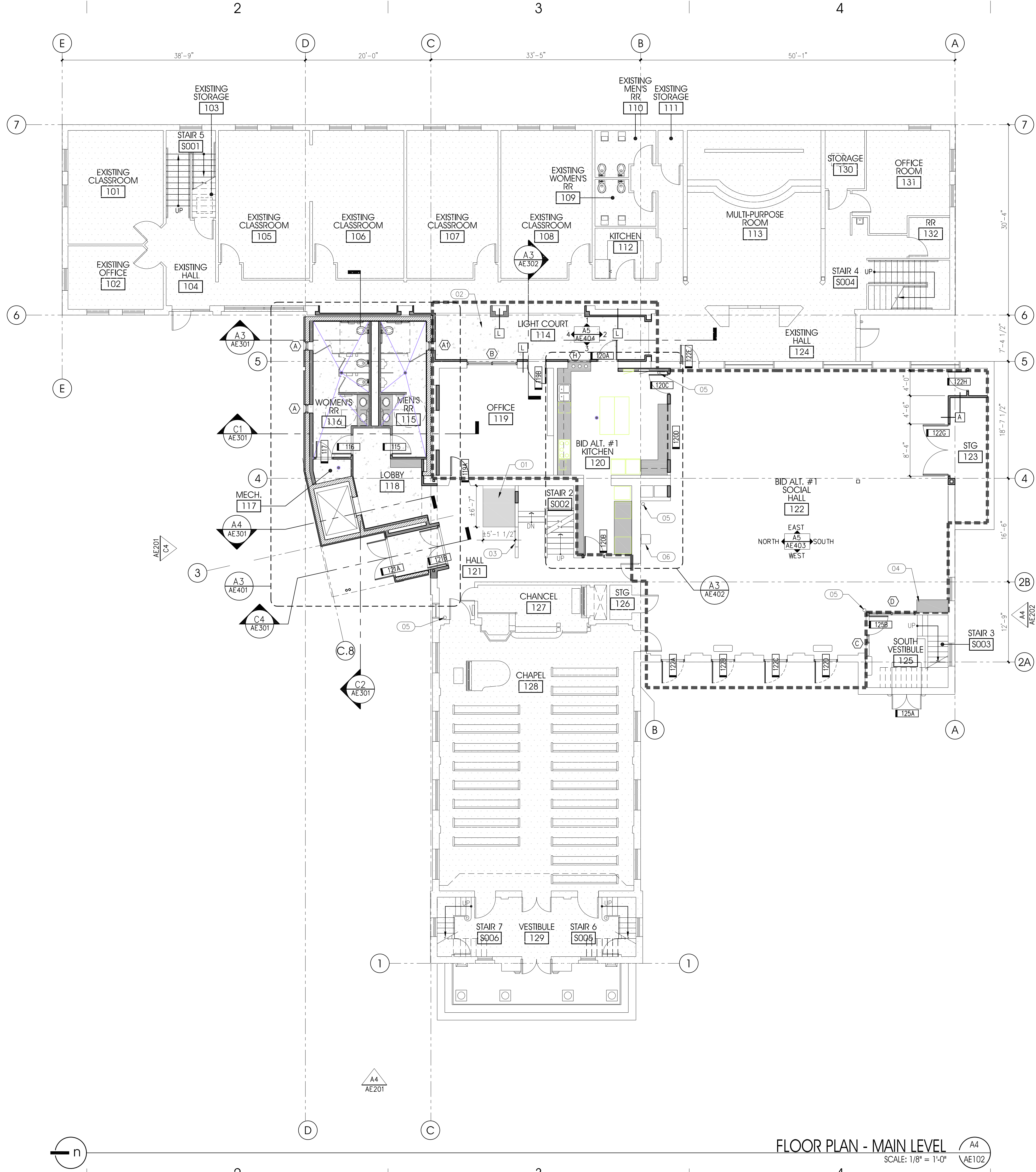
ISSUE DATE: 7/20/2011
 ISSUE TYPE: CONDOC
 DRAWN BY: ajc
 CHECKED BY: K. RIGBY
 CAD FILE NAME: 0817AE101

SHEET NUMBER:

AE101

FLOOR PLAN- BASEMENT LEVEL
 SCALE: 1/8" = 1'-0"

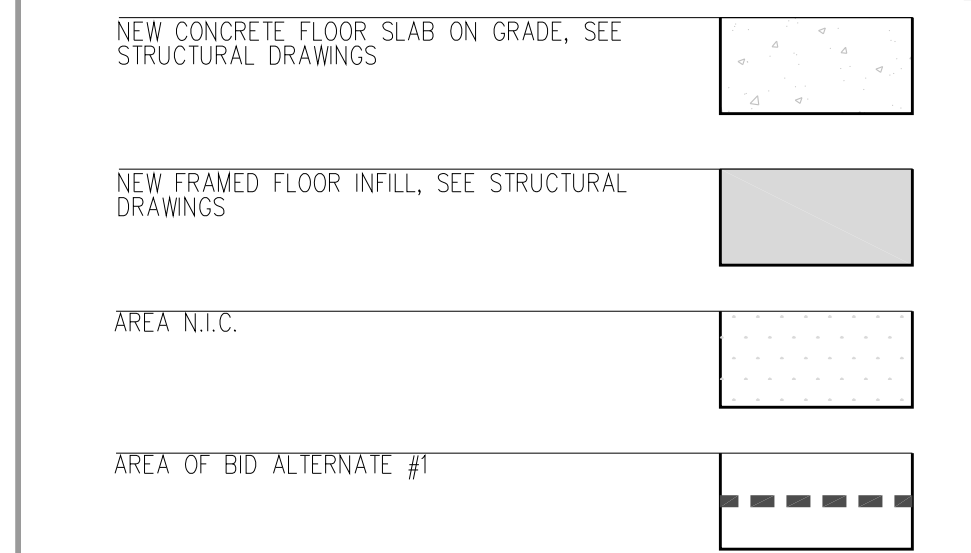
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FLOOR PLAN - MAIN LEVEL
SCALE: 1/8" = 1'-0"

GENERAL NOTES AND LEGEND:
*FOR SHEET AE102 ONLY.

- SEE SHEET G107 FOR GENERAL NOTES.
- SEE COVER SHEET G001 FOR DRAWING INDEX.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.
- SEE FINISH PLAN SHEET AE104.



KEYED NOTE LEGEND:
*FOR SHEET AE102 ONLY.

- 01 FRAMED FLOOR INFILL, SEE FLOOR TYPE "F1" SHEET AE002. SEE STRUCTURAL DRAWINGS.
- 02 CONCRETE SLAB ON GRADE, SEE STRUCTURAL DRAWINGS. SEE FLOOR TYPE "F2" SHEET AE002. RECESS TOP OF SLAB BELOW ADJACENT FINISH FLOOR. NEW FLOOR FINISH TO BE FLUSH WITH EXISTING.
- 03 PROVIDE OPENING IN EXISTING WALL.
- 04 MILLWORK, SEE INTERIOR ELEVATION.
- 05 EXISTING FIRE EXTINGUISHER TO REMAIN. GC TO REMOVE, SAVE, AND REINSTALL AFTER PAINTING.
- 06 EXISTING WATER COOLER TO REMAIN. PROTECT.
- 07 EXISTING CHIMNEY SHAFT TO REMAIN. PROTECT.

ARCHITECT 0817



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OWNER INFORMATION
First Unitarian Church
569 South 1300 East
Salt Lake City, Utah

PROJECT DESCRIPTION
Addition and Remodel

SHEET NAME:
**FLOOR PLAN
MAIN LEVEL**

REVISIONS

MARK	DATE	DESCRIPTION

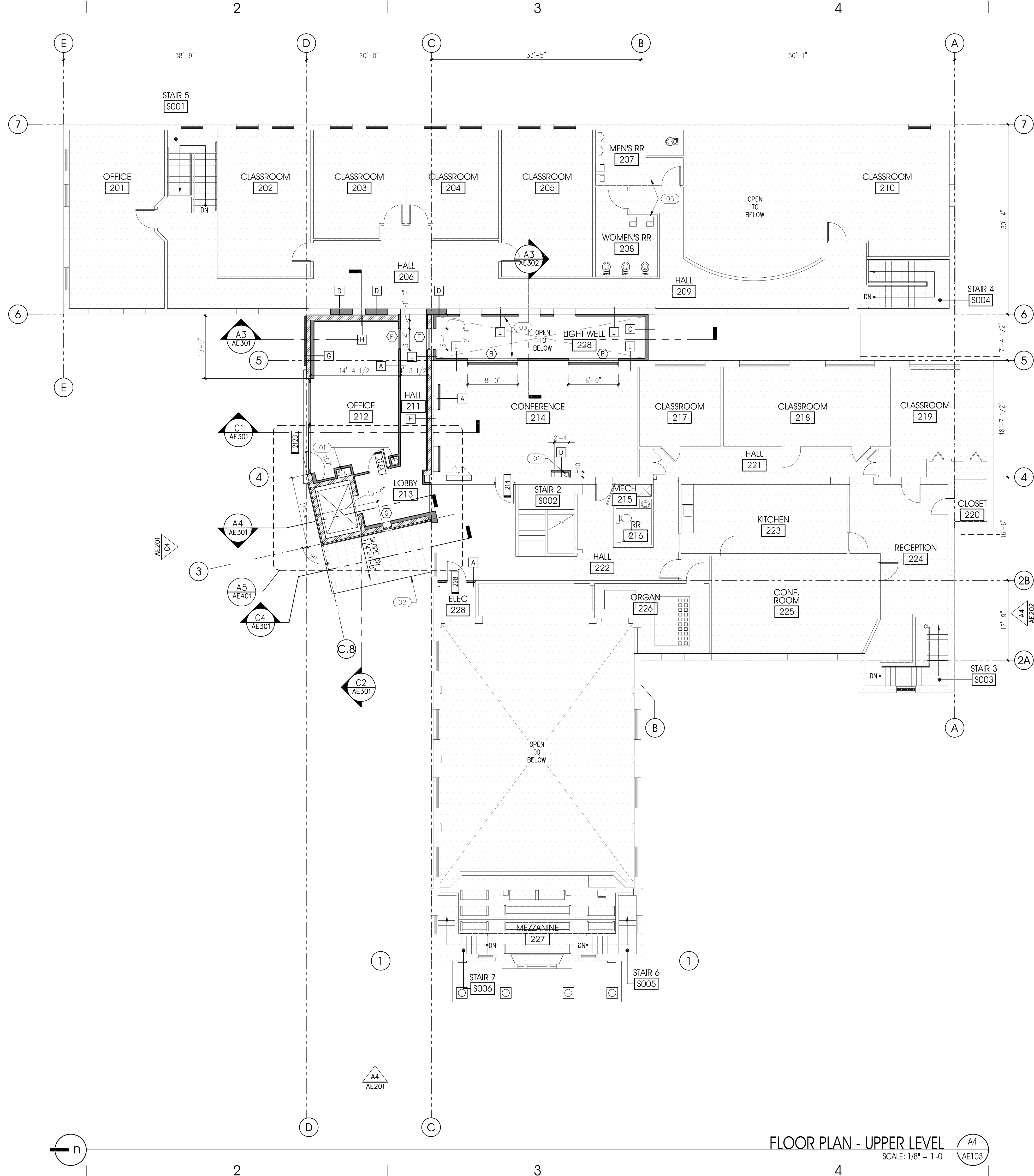
ISSUE DATA

ISSUE DATE: 7/20/2011
ISSUE TYPE: CONDOC
DRAWN BY: ajc
CHECKED BY: K. RIGBY
CAD FILE NAME: 0817AE102

SHEET NUMBER:

AE102

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FLOOR PLAN - UPPER LEVEL
SCALE: 1/8" = 1'-0"

GENERAL NOTES AND LEGEND:
*FOR SHEET AE103 ONLY.

- SEE SHEET G107 FOR GENERAL NOTES.
- SEE COVER SHEET G101 FOR DRAWING INDEX.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.

KEYED NOTE LEGEND:
*FOR SHEET AE103 ONLY.

- (01) SEE MECHANICAL/PLUMBING DRAWINGS.
- (02) LOW SLOPE ZINC STANDING SEAM ROOF AT AWNING BELOW.
- (03) NEW FURRING WALL ALL EXISTING WALL FACES IN NEW LIGHT WELL INCLUDING ABOVE AND BELOW WINDOWS. SEE WALL TYPES.
- (04) NEW FURRING WALL ALL EXISTING WALL FACES IN NEW LIGHT WELL INCLUDING ABOVE AND BELOW WINDOWS. SEE WALL TYPES. ALL LIGHT WELL INTERIOR WALLS, FINISHES AND UTILITIES ARE PART OF BID ALTERNATE 3.
- (05) NO NEW WORK TO EXISTING BATHROOMS. EXISTING FIXTURES TO REMAIN.

ARCHITECT 0817



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OWNER INFORMATION

First Unitarian Church
569 South 1300 East
Salt Lake City, Utah

PROJECT DESCRIPTION

Addition and Remodel

SHEET NAME:

**FLOOR PLAN
UPPER LEVEL**

REVISIONS

MARK	DATE	DESCRIPTION

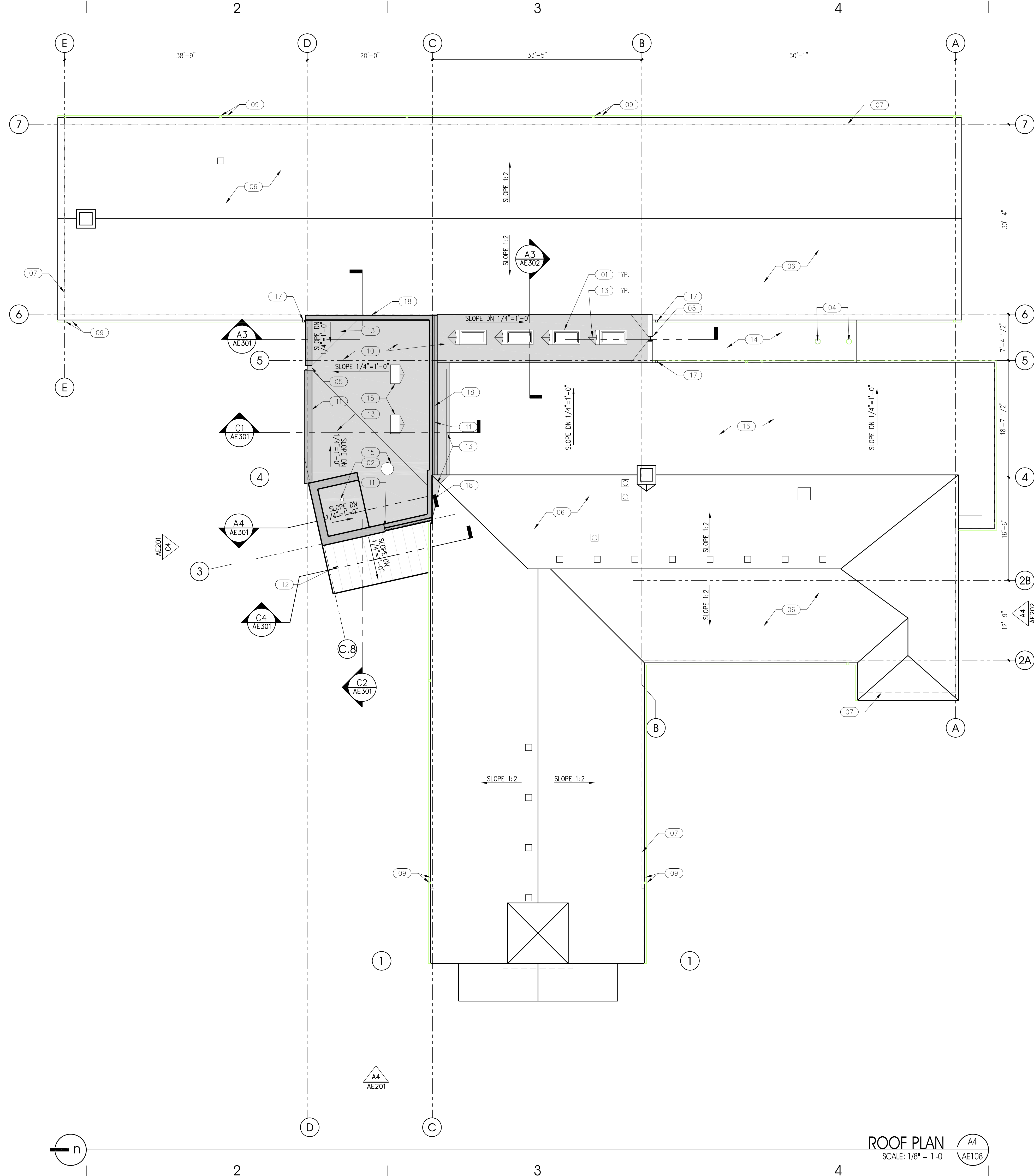
ISSUE DATA

ISSUE DATE: 7/20/2011
ISSUE TYPE: CONDOC
DRAWN BY: ajc
CHECKED BY: K. RIGBY
CAD FILE NAME: 0817AE103

SHEET NUMBER:

AE103

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GENERAL NOTES AND LEGEND:

- *FOR SHEET AE108 ONLY.
- SEE SHEET G007 FOR GENERAL NOTES.
 - SEE COVER SHEET G001 FOR DRAWING INDEX.
 - DO NOT SCALE DRAWINGS.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.
- SINGLE PLY ROOF MEMBRANE

KEYED NOTE LEGEND:

- *FOR SHEET AE108 ONLY.
- 01 SKYLIGHT AND CURB.
 - 02 ELEVATOR VENT. SEE MECHANICAL DRAWINGS.
 - 03 RESERVED.
 - 04 EXISTING ROOF DRAIN AND OVERFLOW DRAIN.
 - 05 SCUPPER. SEE EXTERIOR ELEVATIONS.
 - 06 EXIST. ASPHALT SHINGLES.
 - 07 LINE OF BUILDING BELOW SHOWN DASHED.
 - 08 RESERVED.
 - 09 EXISTING GUTTER & DOWNSPOUTS.
 - 10 NEW ROOF STRUCTURE & SINGLE-PLY ROOFING MEMBRANE ASSEMBLY.
 - 11 NEW PARAPET WALL AND METAL COPING.
 - 12 ZINC STANDING SEAM METAL ROOFING SYSTEM OVER ICE AND WATER SHIE CANOPY BELOW.
 - 13 NEW CRICKET.
 - 14 EXISTING MEMBRANE ROOFING TO REMAIN. PROTECT.
 - 15 MECHANICAL EQUIPMENT. SEE MECHANICAL DRAWINGS.
 - 16 EXISTING ASPHALT ROLL ROOFING.
 - 17 NEW DOWNSPOUT TO MATCH EXISTING.
 - 18 EXPANSION JOINT.

ARCHITECT 0817



OWNER INFORMATION

First Unitarian Church
 569 South 1300 East
 Salt Lake City, Utah

PROJECT DESCRIPTION

Addition and Remodel

SHEET NAME:

ROOF PLAN

REVISIONS

MARK	DATE	DESCRIPTION

ISSUE DATA

ISSUE DATE: 7/20/2011
 ISSUE TYPE: CONDOC
 DRAWN BY: ajc
 CHECKED BY: K. RIGBY
 CAD FILE NAME: 0817AE108

SHEET NUMBER:

AE108

ROOF PLAN
 SCALE: 1/8" = 1'-0"
 A4 AE108

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GENERAL NOTES AND LEGEND:

*FOR SHEET AE301 ONLY.

- SEE SHEET G007 FOR GENERAL NOTES.
- SEE COVER SHEET FOR DRAWING INDEX.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.

ARCHITECT 0817



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OWNER INFORMATION

First Unitarian Church
 569 South 1300 East
 Salt Lake City, Utah

PROJECT DESCRIPTION

Addition and Remodel

SHEET NAME:

BUILDING SECTIONS

REVISIONS

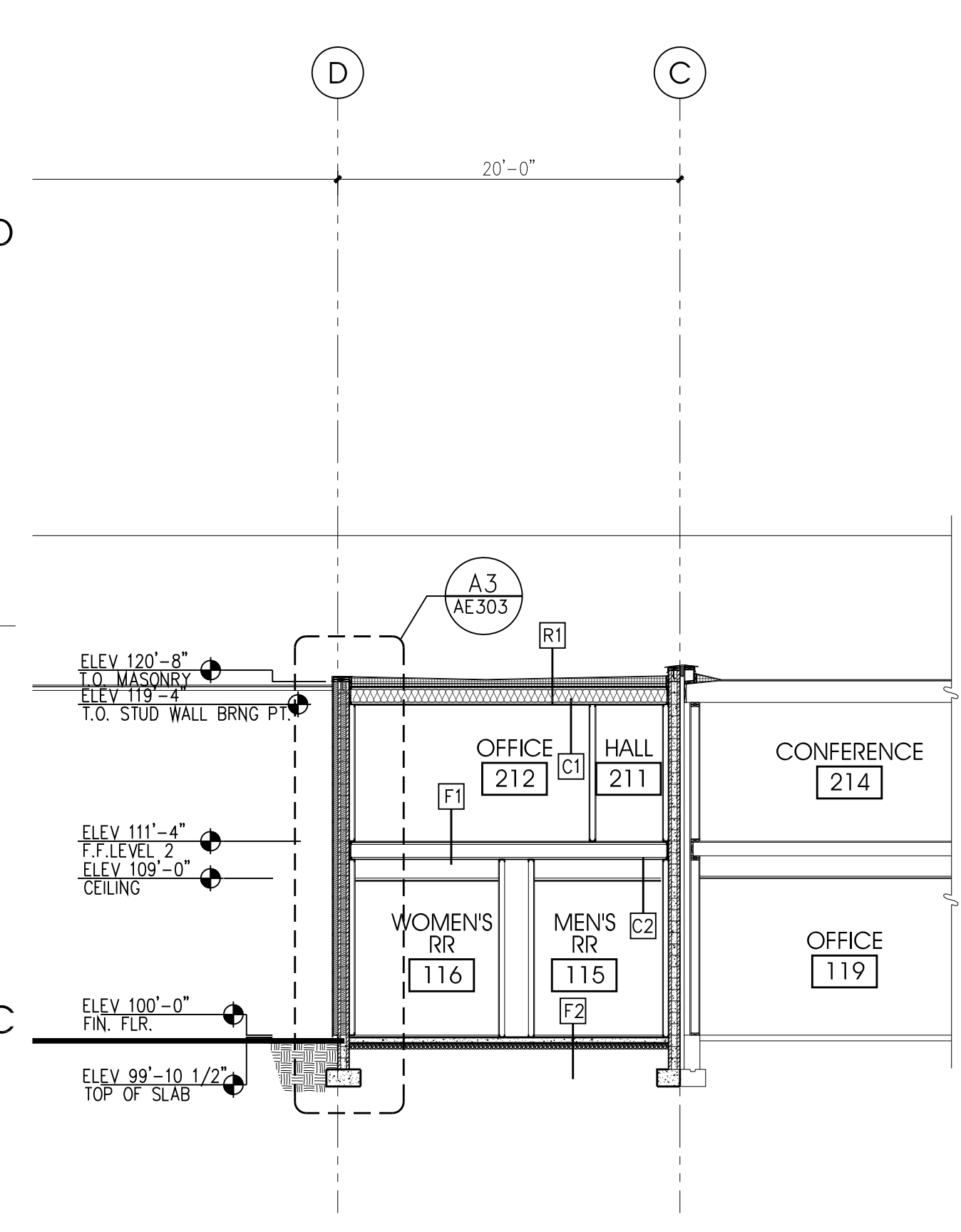
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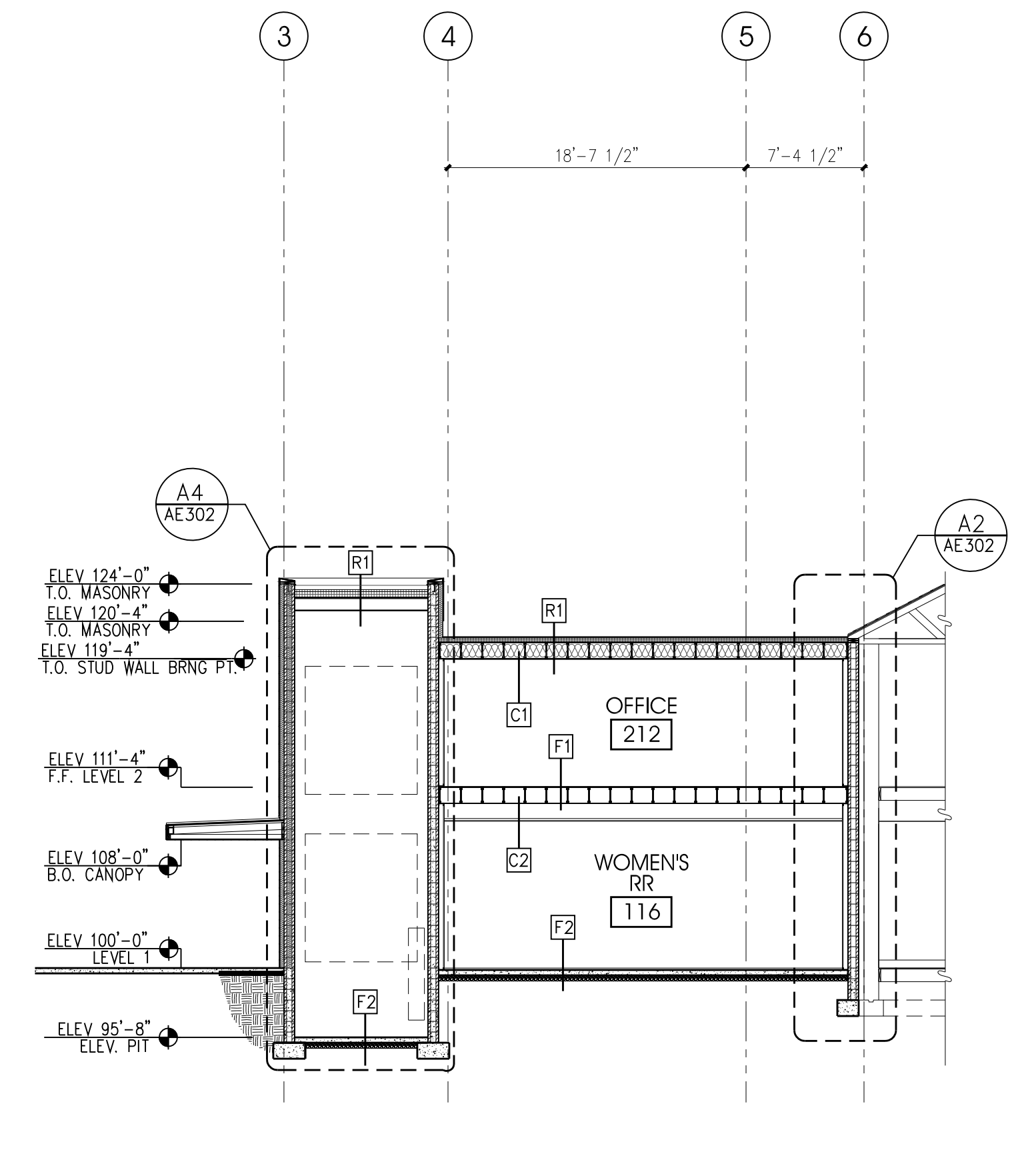
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 ISSUE TYPE: CONDOC
 DRAWN BY: ajc
 CHECKED BY: K. RIGBY
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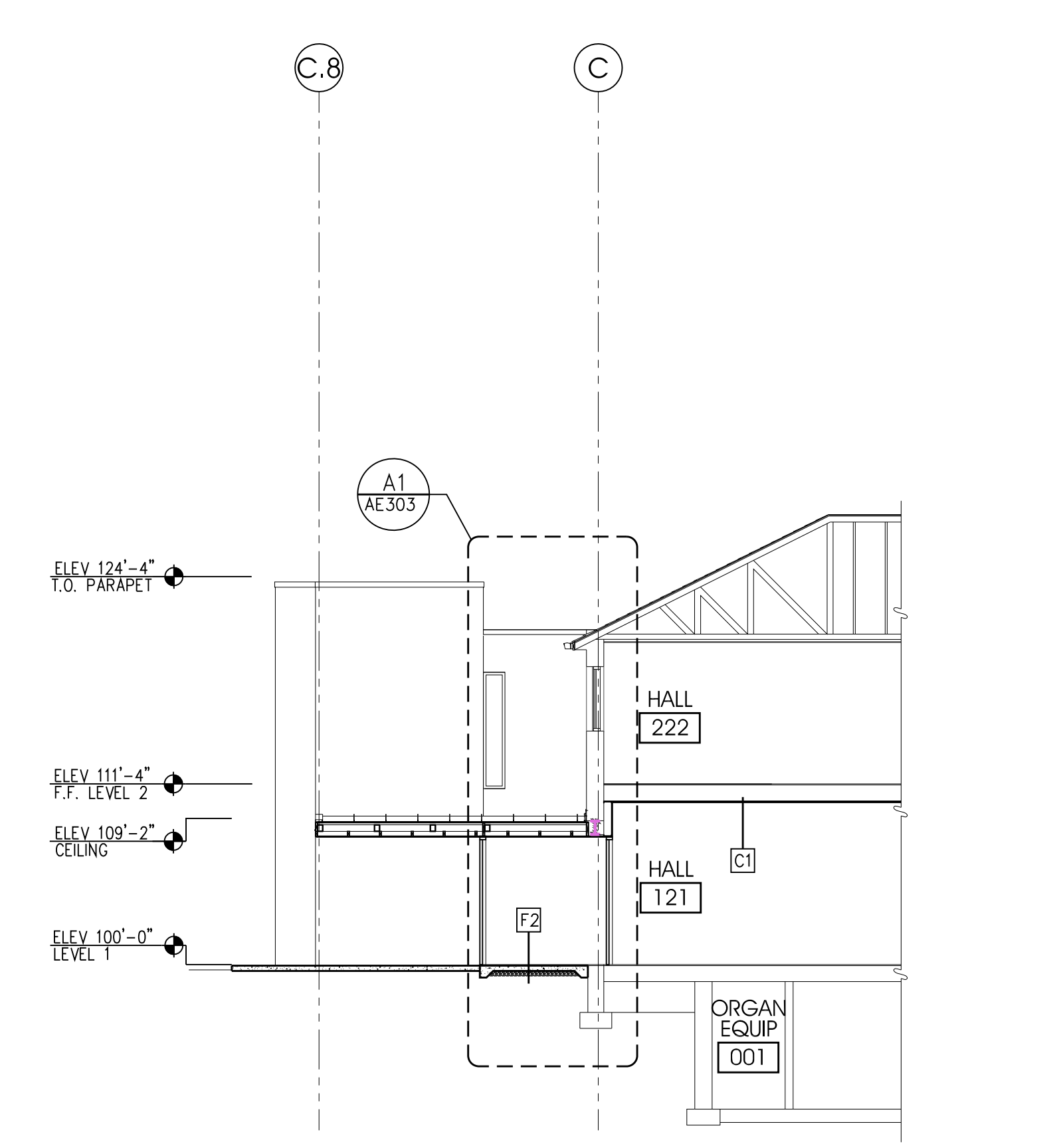
AE301



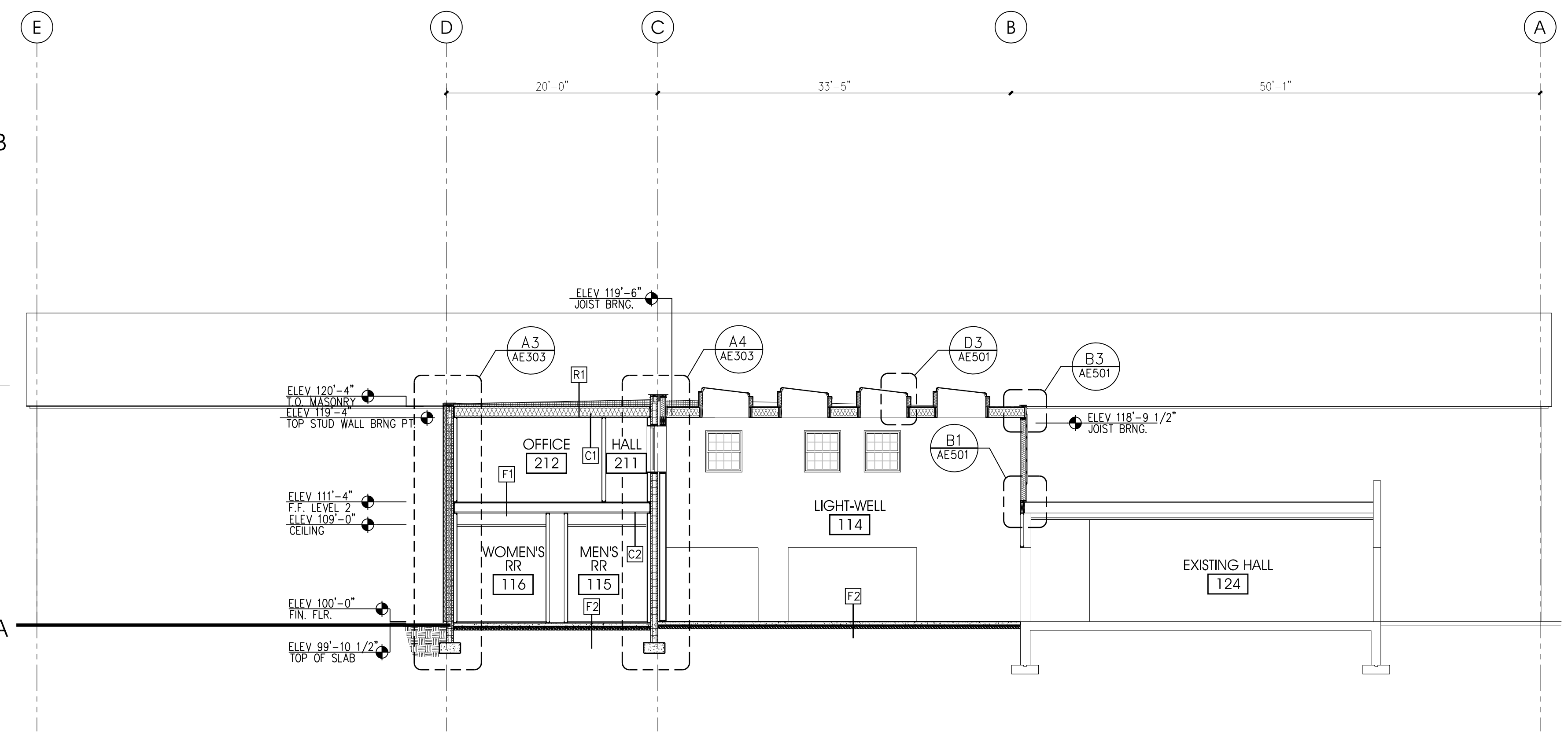
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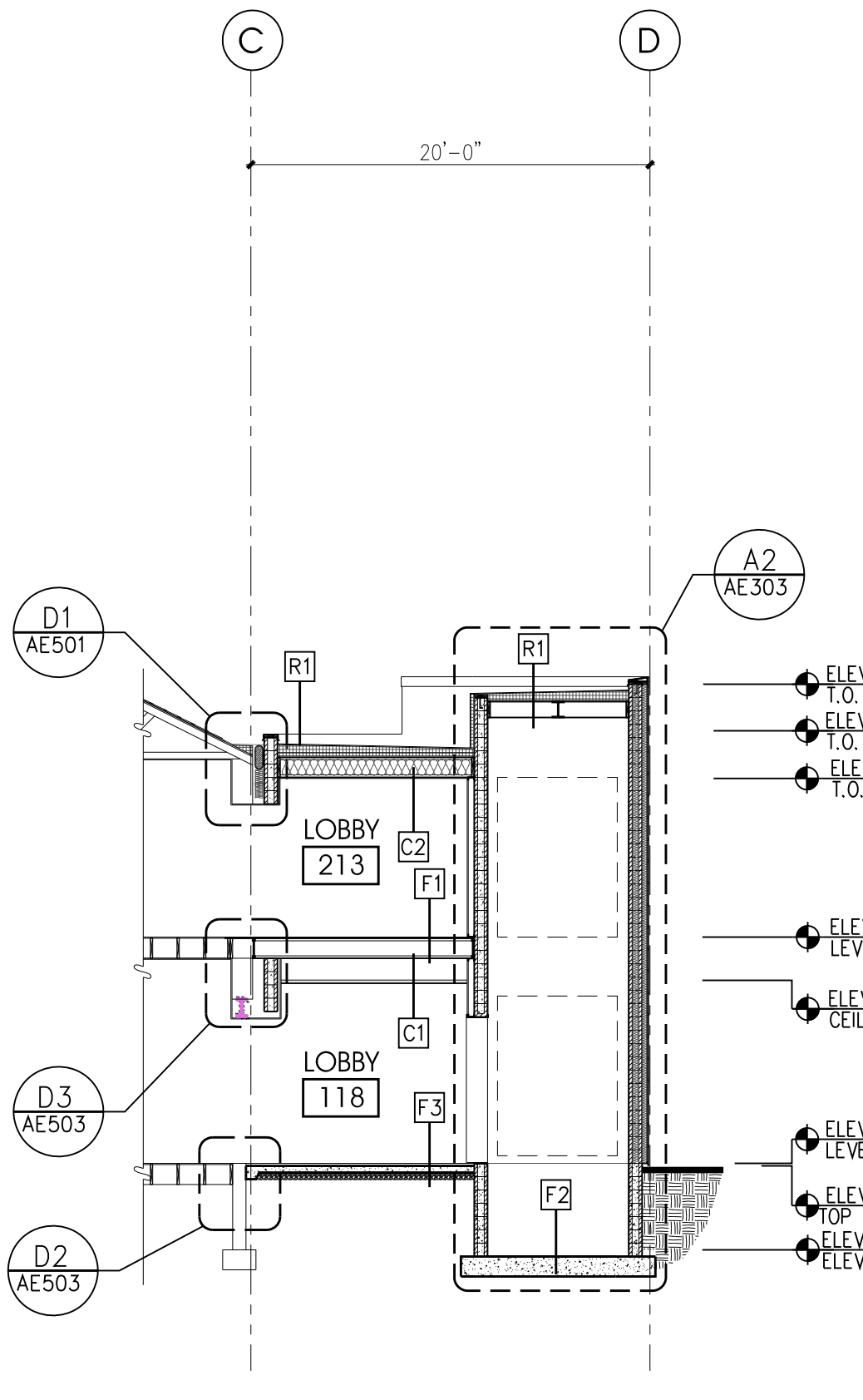
BUILDING SECTION C2
 SCALE: 1/8" = 1'-0"



BUILDING SECTION C4
 SCALE: 1/8" = 1'-0"



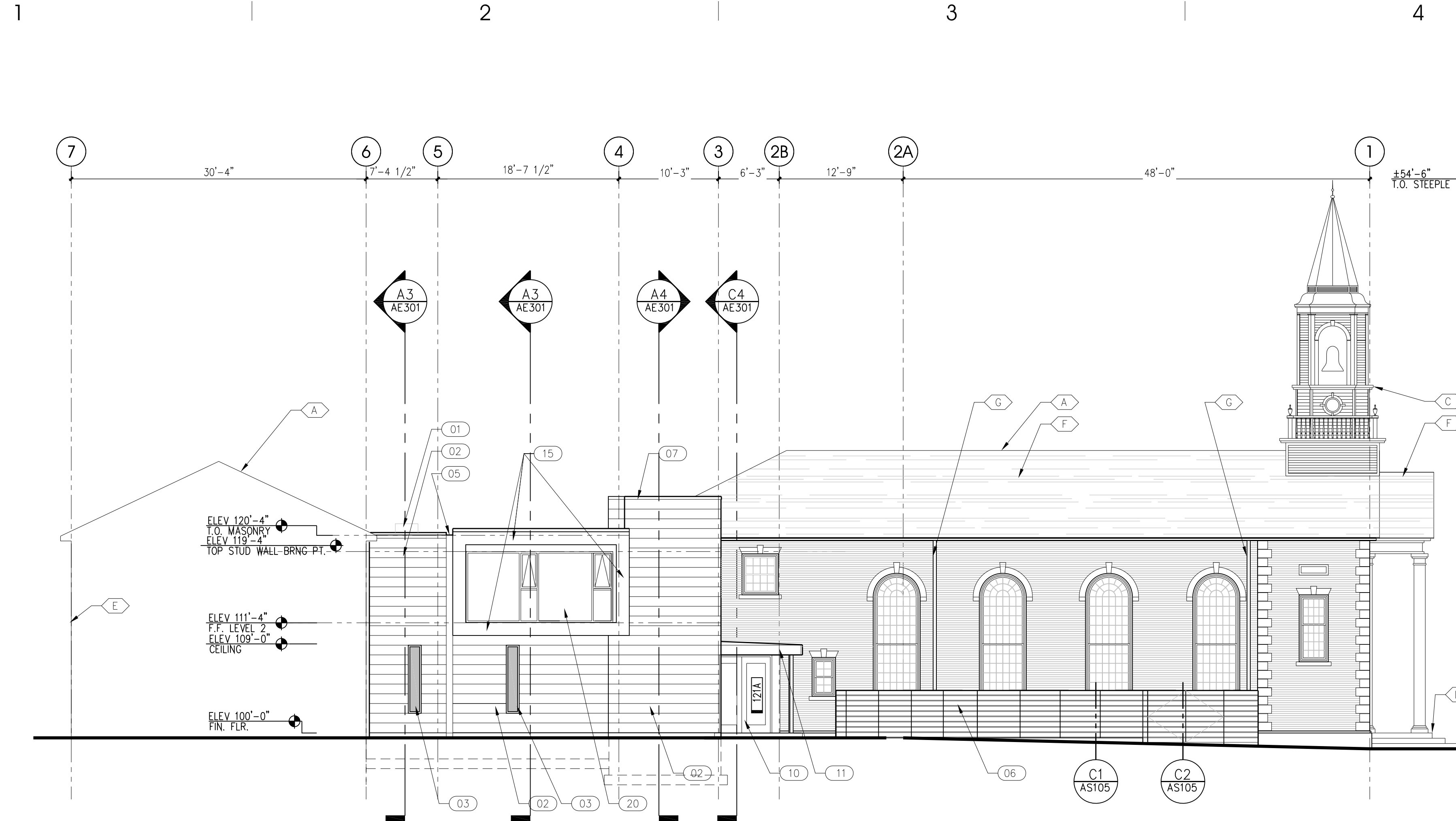
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 SCALE: 1/8" = 1'-0"



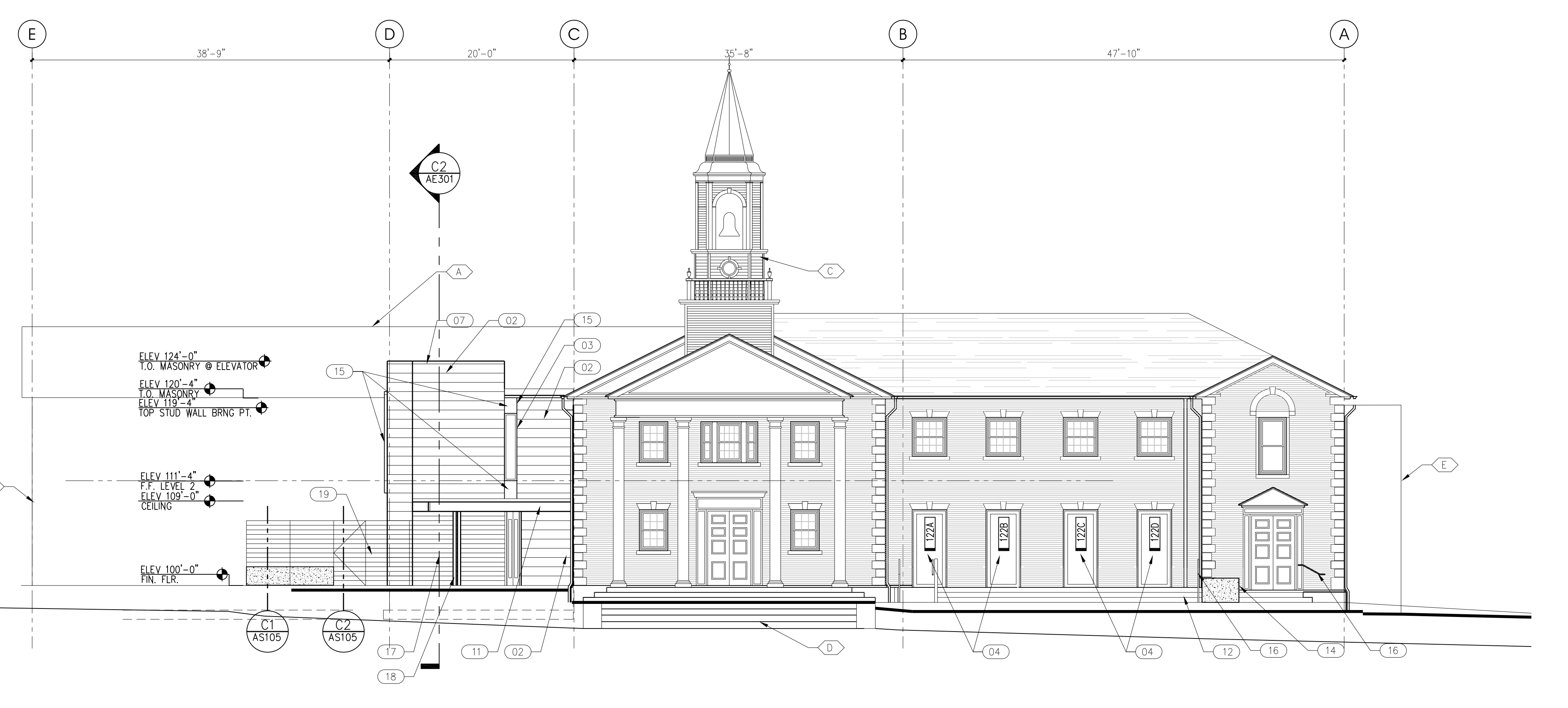
BUILDING SECTION A4
 SCALE: 1/8" = 1'-0"

Attachment B
Proposed Architectural Elevations

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NORTH ELEVATION C4
SCALE: 1/8" = 1'-0" AE201



WEST ELEVATION A4
SCALE: 1/8" = 1'-0" AE201

GENERAL NOTES AND LEGEND:
*FOR SHEET AE201 ONLY.

- SEE SHEET G007 FOR GENERAL NOTES.
 - SEE COVER SHEET G001 FOR DRAWING INDEX.
 - DO NOT SCALE DRAWINGS.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.
 - SEE EXTERIOR FINISH LEGEND SHEET AE602.
- EXISTING BRICK
- EXISTING ASPHALT SHINGLES
- NEW ZINC WALL PANELS
- NEW CEDAR SIDING

EXISTING KEYED NOTE LEGEND:
*FOR SHEET AE201 ONLY.

- A EXISTING ROOF OUTLINE.
- B EXISTING PARAPET.
- C EXISTING STEEPLE. SEE STRUCTURAL DRAWINGS FOR BRACING.
- D EXISTING CONCRETE STEPS.
- E BUILDING OUTLINE.
- F EXISTING ASPHALT SHINGLES.
- G EXIST RAIN GUTTER AND DOWNSPOUT.

KEYED NOTE LEGEND:
*FOR SHEET AE201 ONLY.

- 01 SKYLIGHT BEYOND. SEE ROOF PLAN.
- 02 PATINATED ZINC WALL PANELS. 12" O.C. INTERLOCKING PANEL CONCEALED FASTENER, 1/4" REVEAL.
- 03 ALUMINUM CLAD WOOD WINDOW, WITH FROSTED INSULATED GLAZING. SEE TYPES SHEET AE601.
- 04 ALUMINUM CLAD WOOD DOOR. EXTERIOR FINISH STANDARD COLOR TO MATCH WHITE WINDOW FRAMES. SEE SCHEDULE SHEET AE601.
- 05 ROOF DOWNSPOUT, PAINTED METAL. PROVIDE SPLASH BLOCK.
- 06 CEDAR FENCE/SCREEN - 1x6 BOARDS ON 4x4 POSTS AT 6" O.C. MAX.
- 07 PARAPET CAP FLASHING.
- 08 EXISTING GUTTER / DOWNSPOUTS TO REMAIN.
- 09 CEMENTITIOUS PANEL WITH 6" LAP.
- 10 ALUMINUM CLAD WOOD DOOR. EXTERIOR FINISH CUSTOM COLOR SIM TO ZIB. SEE SCHEDULE SHEET AE601.
- 11 CANOPY, ZINC FASCIA. LOW SLOPE ZINC STANDING SEAM ROOF.
- 12 CONCRETE STEPS. SEE SITE PLAN.
- 13 RESERVED.
- 14 ARCHITECTURAL CONCRETE WALL.
- 15 PATINATED ZINC TRIM.
- 16 HANDRAIL TO MATCH EXISTING TO WEST OF MAIN CHAPEL ENTRY.
- 17 1x6 CEDAR SIDING
- 18 DOUBLE COLUMN, PAINTED.



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OWNER INFORMATION
First Unitarian Church
569 South 1300 East
Salt Lake City, Utah

PROJECT DESCRIPTION
Addition and Remodel

SHEET NAME:
EXTERIOR ELEVATIONS

REVISIONS

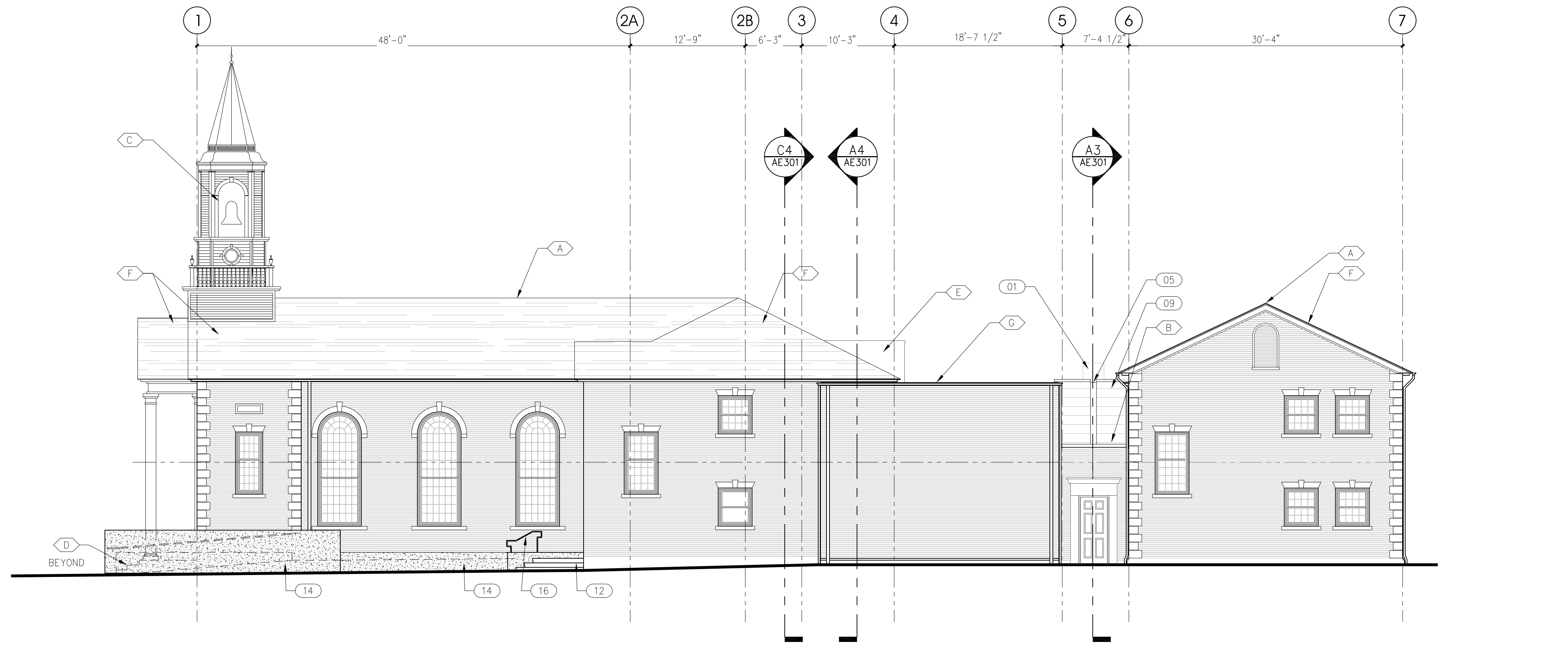
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ISSUE DATA

ISSUE DATE: 7/20/2011
ISSUE TYPE: CONDOC
DRAWN BY: ajc
CHECKED BY: K. RIGBY
CAD FILE NAME: 0817AE201

SHEET NUMBER:
AE201

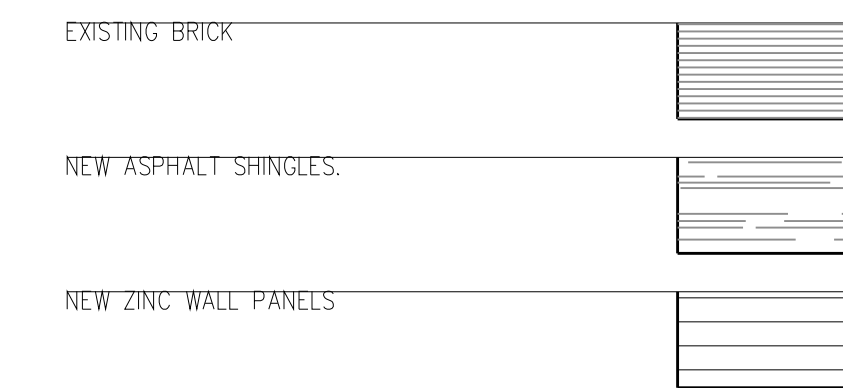
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SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
A4
AE202

GENERAL NOTES AND LEGEND: *FOR SHEET AE202 ONLY.

- SEE SHEET G007 FOR GENERAL NOTES.
- SEE COVER SHEET G001 FOR DRAWING INDEX.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK AND SHALL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.



EXISTING KEYED NOTE LEGEND: *FOR SHEET AE202 ONLY.

- A EXISTING ROOF OUTLINE.
- B EXISTING PARAPET.
- C EXISTING STEEPLE. SEE STRUCTURAL DRAWINGS FOR BRACING.
- D EXISTING CONCRETE STEPS.
- E BUILDING OUTLINE.
- F EXISTING ASPHALT SHINGLES.
- G EXIST RAIN GUTTER AND DOWNSPOUT.

KEYED NOTE LEGEND: *FOR SHEET AE202 ONLY.

- O1 SKYLIGHT BEYOND. SEE ROOF PLAN.
- O2 PATINATED ZINC WALL PANELS. 12" O.C. INTERLOCKING PANEL. CONCEALED FASTENER, 1/4" REVEAL.
- O3 ALUMINUM CLAD WOOD WINDOW, WITH FROSTED INSULATED GLAZING. SEE TYPES SHEET AE601.
- O4 DOOR. SEE SCHEDULE SHEET AE601.
- O5 ROOF DOWNSPOUT, PAINTED METAL. PROVIDE SPLASH BLOCK.
- O6 CEDAR FENCE/SCREEN - 1x6 BOARDS ON 4x4 POSTS AT 6" O.C. MAX.
- O7 PARAPET CAP FLASHING.
- O8 EXISTING GUTTER / DOWNSPOUTS TO REMAIN.
- O9 CEMENTITIOUS PANEL WITH 6" LAP.
- O10 RESERVED.
- O11 CANOPY. ZINC FASCIA. LOW SLOPE ZINC STANDING SEAM ROOF.
- O12 CONCRETE STEPS. SEE SITE PLAN.
- O13 RESERVED.
- O14 ARCHITECTURAL CONCRETE WALL.
- O15 PATINATED ZINC TRIM.
- O16 HANDRAIL TO MATCH EXISTING TO WEST OF MAIN CHAPEL ENTRY.
- O17 1x6 CEDAR SIDING.
- O18 DOUBLE COLUMN, PAINTED.
- O19 STEEL FENCE AND GATE, PAINTED. HORIZONTAL 1"x1" ANGLES AT 5 1/2" TUBE STEEL POSTS. 7' TALL.
- O20 ALUMINUM CLAD WOOD WINDOW, WITH CLEAR LOW E INSULATED GLAZING. TYPES.

ARCHITECT 0817



703 east 1700 south
salt lake city, utah 84105
ph: 801.466.8818
fx: 801.466.4411
ajc@ajcarchitects.com

OWNER INFORMATION

First Unitarian Church
569 South 1300 East
Salt Lake City, Utah

PROJECT DESCRIPTION

Addition and Remodel

SHEET NAME:

EXTERIOR ELEVATIONS

REVISIONS

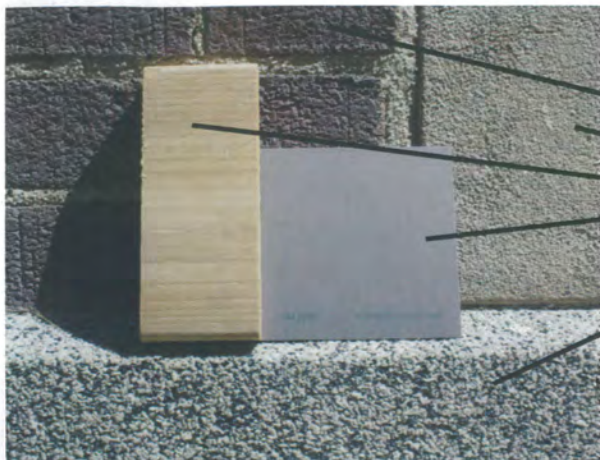
MARK	DATE	DESCRIPTION

ISSUE DATA

ISSUE DATE:	7/20/2011
ISSUE TYPE:	CONDOC
DRAWN BY:	ajc
CHECKED BY:	K. RIGBY
CAD FILE NAME:	0817AE202

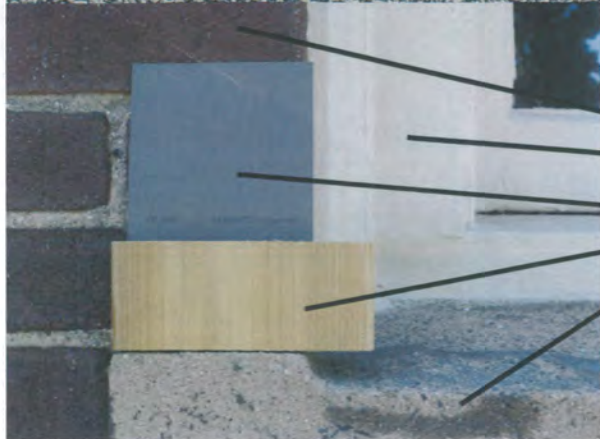
SHEET NUMBER:

AE202



In Sun

- Existing Brick
- Existing Corner Masonry 'Coins'
- New Cedar (Screen, Soffit, Entry Siding)
- New Siding Patinated Rouge Zinc
(Window frames and fence near zinc will be similar color)
- Existing Concrete Base



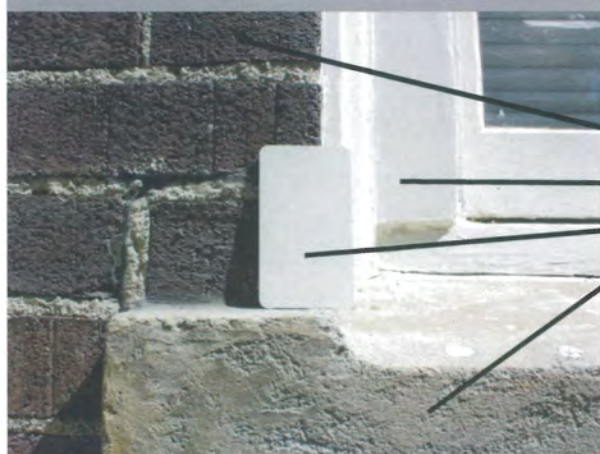
In Shadow

- Existing Brick
- Existing Window Frames
- New Siding Patinated Rouge Zinc
- New Cedar (Screen, Soffit, Entry Siding)
- Existing Concrete Sill



In Shadow

- Existing Window Frames
- New Window Frames at existing brick



In Sun

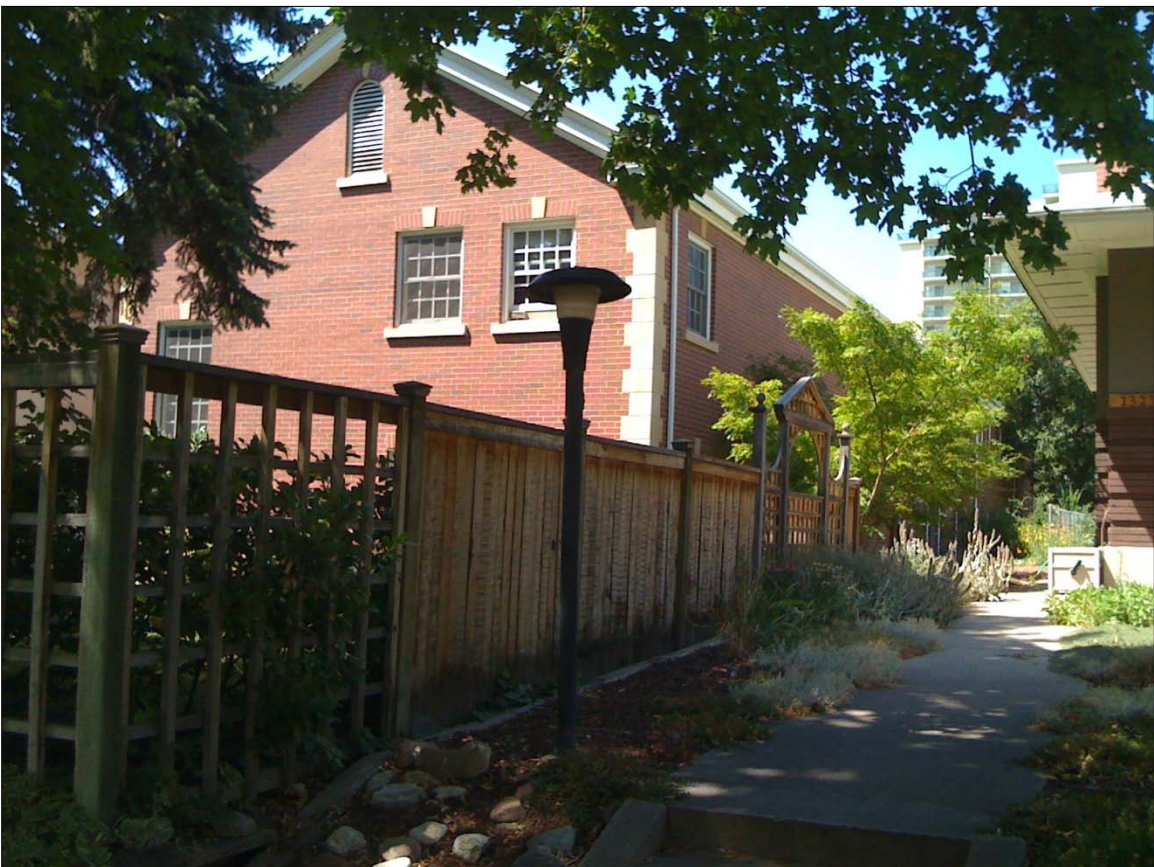
- Existing Brick
- Existing Window Frames
- New Window Frames at existing brick
- Existing Concrete Sill

Attachment D
Subject Property Photographs

Property Photographs – 569 South 1300 East



Northward view of subject property



East property line adjacent to single family home



Eastward view of location of proposed addition (behind tree)

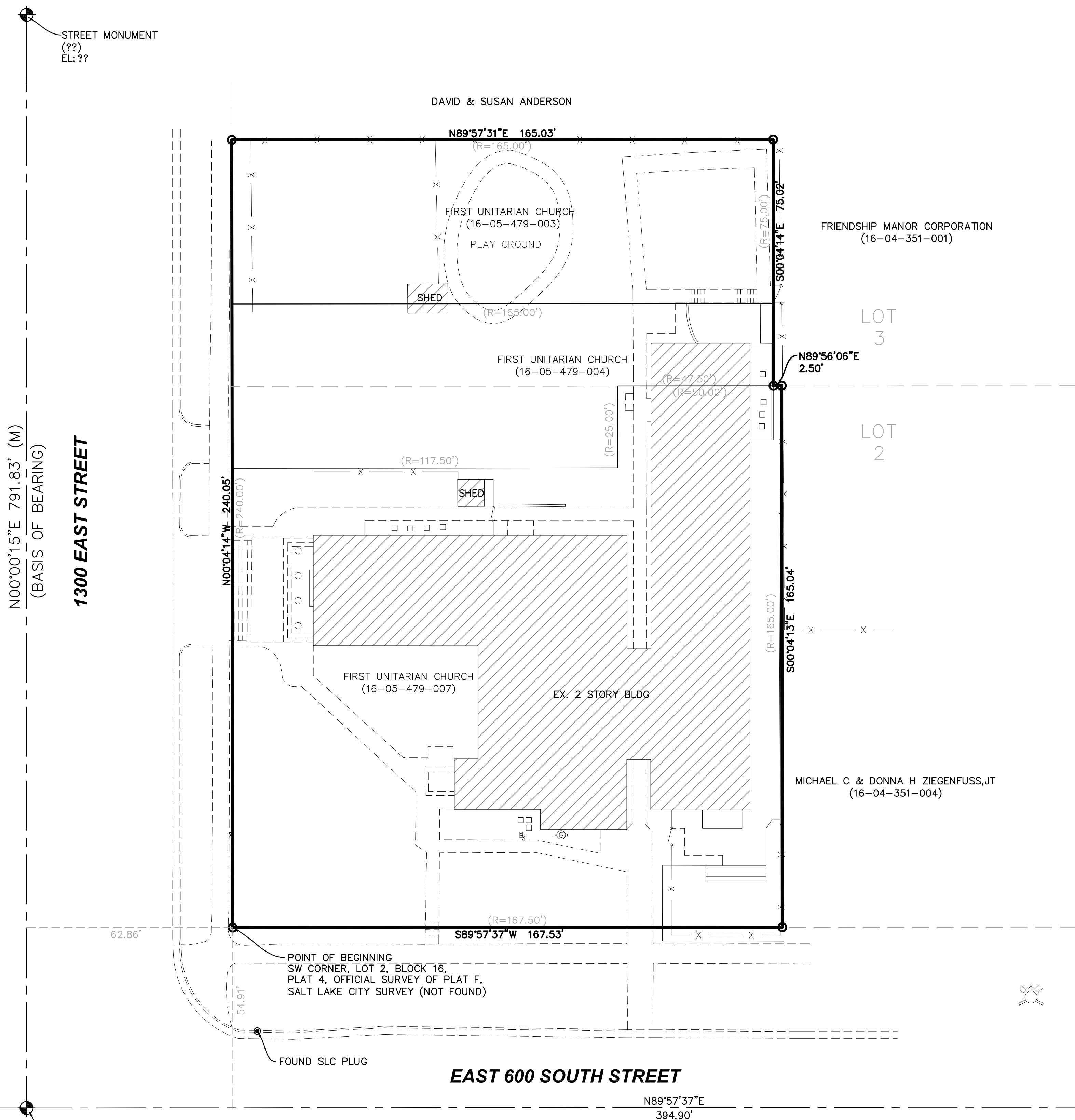


Interior view of Unitarian Church lot – location of proposed building addition

Attachment E
Preliminary Subdivision Plat

FIRST UNITARIAN CHURCH SUBDIVISION

LOCATED IN, PLAT "4" OF BLOCKS 15, 16, 17, 18, 23, 24
OFFICIAL SURVEY OF PLAT "F", SALT LAKE CITY SURVEY
SALT LAKE BASE AND MERIDIAN, SALT LAKE COUNTY, UTAH



SURVEYOR'S CERTIFICATE

I, Gregory A. Cates, do hereby certify that I am a Professional Land Surveyor, and that I hold Certificate No. 161226 as prescribed under the laws of the State of Utah. I further certify that by authority of the Owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into lots and streets, hereafter to be known as **FIRST UNITARIAN CHURCH SUBDIVISION** and that same has been surveyed and staked on the ground as shown on this plat.

BOUNDARY DESCRIPTION

Beginning at the Southwest Corner of Lot 2, Block 16, Plat 4, Official Survey of Plat "F", Salt Lake City Survey, said point being also on the Easterly Right-of-Way Line of 1300 East Street, and running thence, along the West Line of Lots 2 and 3 of said Block 16 and said Easterly Right-of-Way Line, N00°04'14"W 240.05 feet; thence N89°57'31"E 165.03 feet; thence S00°04'14"E 75.02 feet to the North Line of said Lot 2; thence, along the North Line of said Lot 2, N89°56'06"E 2.50 feet; thence S00°04'13"E 165.04 feet to the South Line of said Lot 2 and the Northerly Right-of-Way Line of 600 South Street; thence, along said South Line of Lot 2 and said Northerly Right-of-Way Line, S89°57'37"W 167.53 feet to the POINT OF BEGINNING.

Containing 40,029 SF or 0.9189 AC

Date _____ Gregory A. Cates
P.L.S. No. 161226

PROFESSIONAL LAND SURVEYOR
No. 161226
GREGORY A. CATES
STATE OF UTAH

OWNER'S DEDICATION

Know all men by these presents that _____, the undersigned owner() of the above described tract of land, having caused the same to be subdivided into lots and streets to be hereafter known as **FIRST UNITARIAN CHURCH SUBDIVISION** do hereby dedicate for perpetual use of the public all parcels of land and easements as shown on this plat as intended for Private and Public use. In witness whereof _____ have hereunto set _____ this _____ day of _____ A.D., 20____.

CORPORATE ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF _____ §.S.
On the _____ day of _____ A.D., 20____ personally appeared before me, the undersigned Notary Public, in and for said County of _____ in the State of _____, _____, who after being duly sworn, acknowledged to me that _____ a _____ Corporation, that _____ signed the Owner's Dedication freely and voluntarily for and in behalf of said Corporation for the purposes therein mentioned.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF _____ §.S.
On the _____ day of _____ A.D., 20____ personally appeared before me, the undersigned Notary Public, in and for said County of _____ in the State of _____, the signer() of the above Owner's Dedication _____ in number, who after being duly sworn, acknowledged to me that _____ signed it freely and voluntarily for the purposes therein mentioned.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

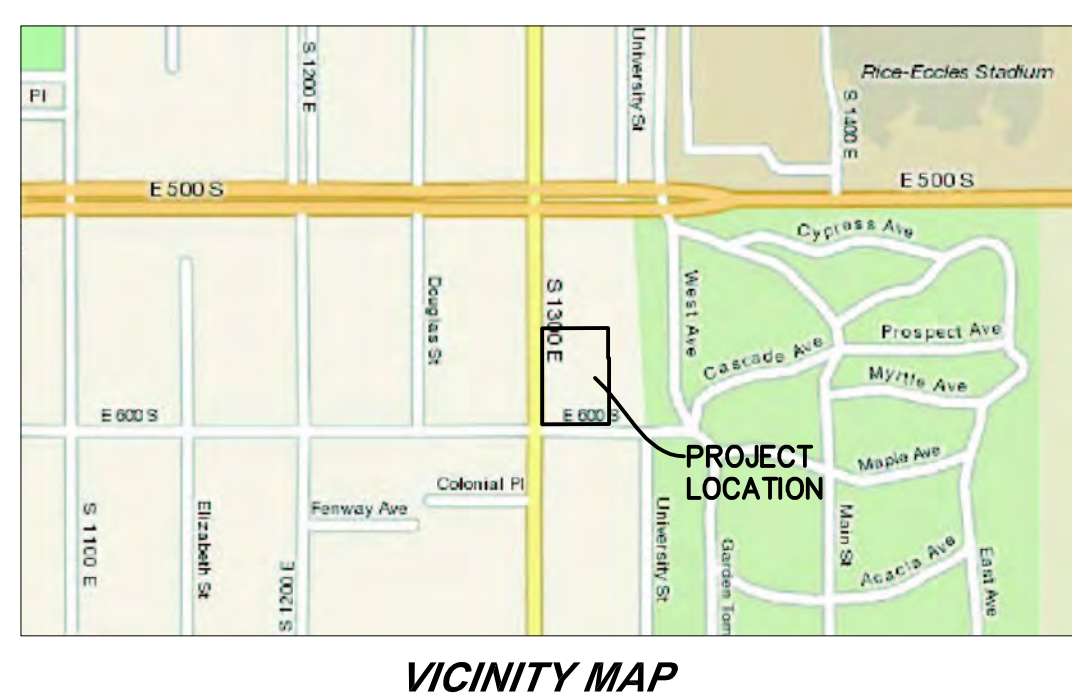
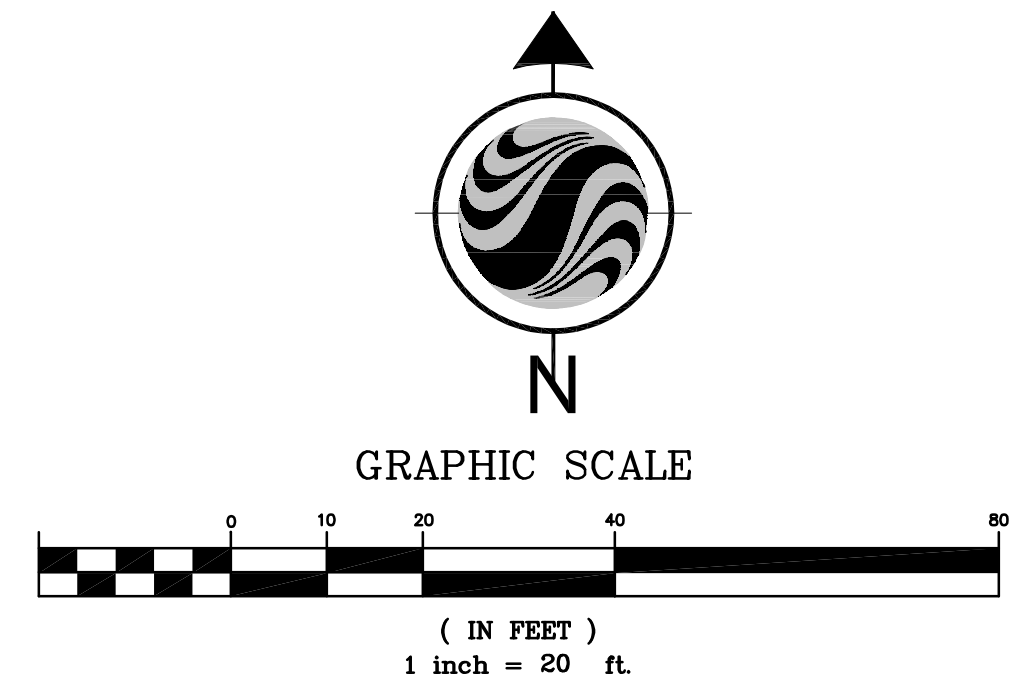
LIMITED LIABILITY COMPANY ACKNOWLEDGMENT

STATE OF UTAH COUNTY OF _____ §.S.
On the _____ day of _____ A.D., 20____ personally appeared before me, the undersigned Notary Public, in and for said County of _____ in the State of _____, _____, a Limited Liability Company, that _____ signed the Owner's Dedication freely and voluntarily for and in behalf of said Limited Liability Company for the purposes therein mentioned.

MY COMMISSION EXPIRES _____ NOTARY PUBLIC RESIDING IN _____ COUNTY

FIRST UNITARIAN CHURCH SUBDIVISION

LOCATED IN, PLAT "4" OF BLOCKS 15, 16, 17, 18, 23, 24
OFFICIAL SURVEY OF PLAT "F", SALT LAKE CITY SURVEY
SALT LAKE BASE AND MERIDIAN, SALT LAKE COUNTY, UTAH



CITY PUBLIC UTILITIES DEPT.

APPROVED AS TO SANITARY SEWER AND WATER DETAILS THIS _____ DAY OF _____ A.D., 20____

SALT LAKE CITY PUBLIC UTILITIES DIRECTOR DATE

CHECKED FOR ZONING COMPLIANCE

Zone: _____ Lot Area: _____

Lot Width: _____ Front Yard: _____

Side Yard: _____ Rear Yard: _____

Date: _____ Salt Lake County Planning

LEGEND

- FIRE HYDRANT
- EXISTING STREET MONUMENT
- PROPERTY CORNER TO BE SET
- SECTION CORNER
- EXISTING TBC
- EXISTING STORM DRAIN

CITY PLANNING DIRECTOR

APPROVED THIS _____ DAY OF _____ A.D., 20____ BY THE SALT LAKE CITY PLANNING AND ZONING COMMISSION

PLANNING DIRECTOR DATE

BOARD OF HEALTH

APPROVED THIS _____ DAY OF _____ A.D., 20____

DIRECTOR S.L.CO. BOARD OF HEALTH

COUNTY PLANNING & DEVELOPMENT SERVICES DIVISION

I HEREBY CERTIFY THAT THIS OFFICE HAS EXAMINED THIS PLAT AND IT IS CORRECT IN ACCORDANCE WITH INFORMATION ON FILE IN THIS OFFICE.

DATE _____ CITY ENGINEER _____

DATE _____ CITY SURVEYOR _____

CITY ATTORNEY

APPROVED AS TO FORM THIS _____ DAY OF _____ A.D., 20____

SALT LAKE CITY ATTORNEY

SALT LAKE CITY APPROVAL

PRESENTED TO SALT LAKE CITY THIS DAY OF _____ 20____ AND IS HEREBY APPROVED AND ACCEPTED.

SALT LAKE CITY MAYOR _____

SALT LAKE CITY RECORDER _____

Project Number	186302151	PM	KAE
Filename	02151v-fb	Designed By	JWJ
Drawn By	JWJ	Checked By	GAC
Date	8/5/11		
No.		Revisions	By
			Date



RECORDED #

STATE OF UTAH, COUNTY OF SALT LAKE, _____

REQUEST OF _____

TIME: _____ BOOK: _____ PAGE: _____

_____ SALT LAKE COUNTY RECORDER

Attachment F
Applicant's Subdivision Narrative

May 3, 2011

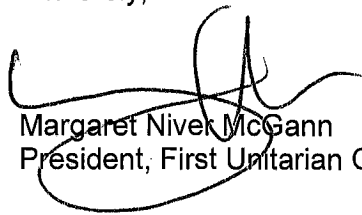
Mr. Ralph Becker, Mayor
Mayor's Office
PO Box 145474
Salt Lake City, UT 84114-5474

The First Unitarian Church of Salt Lake City, at 569 S 1300 East, Salt Lake City, Utah 84102 requests your approval for the combining of three subdivision parcels as listed:

569 S. 1300 East 16-05-479-007-0000
561 S. 1300 East 16-05-479-004-0000
516 S. 1300 East 16-05-479-003-0000

These three parcels would be combined into the main single parcel of 16-05-479-007 located with the address of 569 S 1300 East. We request the combination of the parcels to allow for current planned construction of a new addition that will provide bathrooms and an elevator to bring our church into compliance with ADA as well as future building plans for expanding our facility to meet the needs of our congregation. All three parcels are currently used full time by the Church for daily activities, events and regular Sunday services within the buildings and gardening, playground, and occasional external gatherings on the outside premises. With the combining of these parcels, we look forward to improving the quality of our premises and land for the benefit of our congregants and our neighbors.

Sincerely,



Margaret Niver McGann
President, First Unitarian Church of Salt Lake City

Attachment G
Department Comments

1. Department Comments: Conditional Use

Public Utilities

Current Status

Complete

Action By

Michael Maloy

Comments

As part of the subdivision, the project must eliminate all but one culinary water meter connections. The main church is serviced by an existing 1-inch water service. A residence to the north is serviced by a separate ¾" water service. In accordance with City Code. Single parcels may only have one culinary water connection. Please evaluate the needs of the project and make whatever modifications necessary to provide all water connections onsite from a single water meter. This may mean that the existing residence connect to the water service that presently serves the church. This may require that the existing service be up-sized to accommodate a "master" meter status, where the meter serves more than one building. Any and all changes must be designed and proposed by a licensed civil engineer. Building permits will be required for any changes to site utilities. Details regarding site improvements or modifications will be reviewed at that time.

Justin D. Stoker, PE, LEED® AP, CFM

Public Utilities Follow-up

I spoke with Justin Stoker at SLCPU regarding the Unitarian Church property's existing water service and irrigation service. We CAN use the existing ¾" service and meter from 1300 East for irrigation purposes if it becomes an irrigation only meter. The following should be noted:

- The City will treat this meter as an irrigation only meter, allowed for parcels larger than ½ acre in size.
- It will be shut off during winter months (typically from October to March).
- It will require a typical backflow preventer as used for all irrigation connections. Jennifer, please add this to your plan if an existing preventer is not already there.

The owner should be made aware that their monthly sewer bill is calculated from their water usage, which will be measured from the existing 1" meter from 600 South. If all of the site irrigation is connected to the "irrigation only" meter, their sewer bill will be reduced, since irrigation water from the "irrigation only" meter is not used to determine the sewer bill. This is not required, but it is in the best interest of the owner.

I will show on my Utility Plan (sheet C-102) that the existing ¾" meter off of 1300 East will remain and will be used as an irrigation only meter and service, unless either of you tell me to do otherwise.

Thank you, and let me know if you have any questions,

Brandon J. Page

Civil Designer

Stantec

Zoning

Assigned to

Alan Hardman

Current Status

Complete

Action By

Alan Hardman

Comments

This proposal went to a DRT meeting on April 13, 2011. See comments. In the R-2 zoning district, the maximum height of a flat roof building shall be 20 feet. The addition exceeds the maximum building height allowed in this zone. The building height issue should be considered as part of the Conditional Use process.

End Time:**Status Date**

06/02/2011

Overtime:

No

Assigned to Department

Permit Plan Examiners

Status Date

06/14/2011

Overtime:

No

Start Time:

Building

Assigned to
Larry Butcher
Current Status
Complete
Action By
Larry Butcher
Comments

Construction must meet all applicable development codes.

Assigned to Department
Permit Admin Official
Status Date
06/10/2011
Overtime:
No

Engineering

Assigned to

Current Status
Complete
Action By
Scott Weiler
Comments

See comments on PLNSUB2011-00212 for public way requirements associated with this proposal.

Assigned to Department
Engineering Engineer
Status Date
06/03/2011
Overtime:
No

Transportation

Assigned to

Current Status
Complete
Action By
Barry Walsh
Comments

June 16, 2011 Review for PLNSUB2011-00212 a minor subdivision to combine lots at 555 South 561 South and 569 South along with PLNPCM2011-00211 conditional use for bldg addition (restroom and elevator - ADA access) The transportation division past comments (DRT) have been addressed in that the ADA parking stalls are shown (off site lease) and the dead drive approach on 1300 East is to be removed and the signage and power pole to remain and protected.

Assigned to Department
Transportation
Technician
Status Date
06/14/2011
Overtime:
No

2. Department Comments Subdivision

Public Utilities

Current Status
Complete
Action By
Michael Maloy
Comments

As part of the subdivision, the project must eliminate all but one culinary water meter connections. The main church is serviced by an existing 1-inch water service. A residence to the north is serviced by a separate ¾" water service. In accordance with City Code. Single parcels may only have one culinary water connection. Please evaluated the needs of the project and make whatever modifications necessary to provide all water connections onsite from a single water meter. This may mean that the existing residence connect to the water service that presently serves the church. This may require that the existing service be upsized to accommodate a "master" meter status, where the meter serves more than one building. Any and all changes must be designed and proposed by a licensed civil engineer. Building permits will be required for any changes to site utilities. Details regarding site improvements or modifications will be reviewed at that time. Justin D. Stoker, PE, LEED® AP, CFM Salt Lake City Public Utilities

Status Date
06/02/2011
Overtime:
No

Zoning

Current Status

Complete

Action By

Alan Hardman

Comments

This project went to a DRT meeting on April 13, 2011. See comments. The subdivision plat combining three lots into one lot is necessary to bring the building into compliance and allow for expansion. The subdivision must comply with section 21A.24.110.G.

Status Date

06/14/2011

Overtime:

No

Engineering

Current Status

Complete

Action By

Michael Maloy

Comments

Prior to approval of the (corresponding) plat, a Permit to Work in the Public Way must be obtained by a licensed contractor, who has a bond and insurance on file with SLC Engineering, addressing the following concrete issues on the plat frontage: On 1300 East: the dead drive approach must be removed and replaced with curb & gutter. the cracked or settled panels of the carriage walk must be replaced with new concrete. the uneven sidewalk joints (+- 7) must be ground down or replaced with new concrete. the badly cracked sidewalk panels (3) must be replaced with new concrete. On 600 South: the cracked curb & gutter is recommended (not required) to be replaced with new concrete. Scott Weiler, Engineering VI

Status Date

06/03/2011

Overtime:

No

Transportation

Current Status

Complete

Action By

Barry Walsh

Comments

June 16,2011 Review for PLNSUB2011-00212 a minor subdivision to combine lots at 555 South 561 South and 569 South along with PLNPCM2011-00211 conditional use for bldg addition (restroom and elevator - ADA access) The transportation division past comments (DRT) have been addressed in that the ADA parking stalls are shown (off site lease) and the dead drive approach on 1300 East is to be removed and the signage and power pole to remain and protected.

Status Date

06/14/2011

Overtime:

No



606 Trolley Square
Salt Lake City, Utah 84102
east.central@live.com

August 3, 2011

Regarding: **First Unitarian Church Conditional Use and Minor Subdivision
PLNPCM2011-00211 & PLNPCM2011-00212**

Dear Planning Commission;

The First Unitarian Church is located within the Douglas Park Neighborhood of the Eastside & East Central Community Council District (ECC).

When considering feedback toward exceptions to the Central Community Master plan or to the zoning codes for the area, on any project, it is the ECC's practice to first seek to establish a joint sub-committee of our Community Development and Land Use Committee and the applicant in order to accomplish several points:

- increase communication & understanding,
- solve problems and impacts through mitigation/creative but low cost solutions and
- build our long term relationships within the neighborhood that can span other topics such as crime reductions, beautification, emergency preparation, etc.

In the last several years the ECC has now established a long list of successful joint and collaborative efforts working in this way.

When gathering input from the community we weight feedback in this manner:

1. The immediate neighbors (residential, businesses, etc.) most directly affected.
2. The remaining neighbors in the neighborhood(s) most directly affected (Douglas Park)
3. The entire ECC District (4 Neighborhood Councils, 5 Neighborhoods, 3 Business Districts)

In order to obtain feedback, the ECC distributed numerous detailed emails to the neighborhood Google Groups, held one and attempted to hold several other joint committee meetings, distributed flyers, conducted straw polls and hosted this topic at the June 9th General Membership Meeting at which time Ed Dieringer presented plans.

Notice to the general meeting was given by email, Google Group, mail and hand delivered flyers.

The First Unitarian Church is an asset within Salt Lake City and to the neighborhoods of the ECC. While we list several concerns about these applications, we hope to continue to build



relationship with those leading and representing the church in a way that will mitigate those negative impacts that detract from all other positive aspects.

Concerns:

Page | 2

- A. **Existing impacts** – Although an asset, The First Unitarian Church also has significant negative impacts on the surrounding neighbors and neighborhoods. Many of these impacts can be mitigated.

The ECC has sought to do this by **establishing an ongoing committee approach** which gives opportunity for productive discussion/collaboration and the ability to solve problems as they come along.

This approach has worked well with IHC, Salt Lake Regional, the University of Utah, St. Paul's, Smiths, Judge, the LDS Church, etc.

While this idea has been met with enthusiasm by Ed and names of his portion of the committee were given, we have yet to meet. Subsequent meetings were either canceled or only attended by Ed which gave the neighborhood the impression that there was not real and broad base support/commitment from the church as a whole.

We hope to still establish this ongoing working group as it is a proven way to avoid conflict and work together on various goals.

- B. **Parking - There is no parking on property for the Church** or other arranged leases in the building.

Since the Church has a **extensive regional draw**, this is a significant impact on the neighborhood.

While the church has arranged parking at both Friendship Manor and McGillis School (that would fully accommodate existing and future needs), this parking is **rarely utilized** or utilized in a limited fashion by both the participants in church meetings and also other leases (Yoga class, etc.).

The Unitarian web site first encouraged participants to park in the neighborhood. While the web has now changed the word "neighborhood" to "streets" we are requesting that **the Unitarian Church consider making parking in the arranged locations part of lease agreements and with a stronger effort to encourage parking there to it's participants. This would be greatly appreciated.**

Parking impacts are felt most strongly on 600 East east of 1300 East and on University Street in many no parking areas. The City allowing the neighbors to **extend the hours of neighborhood permitted parking** on this quarter block to include times of high impact (classes, Sunday service) would also help the neighbors.



C. **Impacts on 6th South** - 600 South west of 1300 East is being utilized for extensive u turns and as a round-about. Due to this, the subsequent amount of traffic on this neighborhood street is extensive.

This can be mitigated with directional signage and temporary parking signage that directs traffic/parking to the McGillis School and Friendship Manor parking area.

Page | 3

D. **Property Maintenance** – While construction is planned on property behind the lot being utilized as a garden plot, the park strip in front of the lots (where no construction will take place) is not being maintained. The landscaping on the 600 South side of the church building is beautiful. **The neighborhood would appreciate the park strip be maintained as well.**

E. **Impact of future uses**- The Church is discussing the use of the existing building as a **reception center during the week. Parking, and other impacts such as hours of operation, noise, upkeep, etc. will be extended and need to be mitigated.**

F. **Pedestrian Safety**- There are significant pedestrian safety issues as participants cross illegally all along 1300 East any time there is activity in the church building. While not unusual for this type of building, the 1300 East 500 South intersection has more traffic than many other areas. This safety concern can be mitigated with **painted crosswalks, crossing flags, or some other pedestrian activated method.**

G. **Protection of neighborhood housing stock** – The Church has discussed the hope to **combine the two Sunday services into one service by building a large chapel that will accommodate all participants.** When and if this becomes a reality, the neighborhood is asking the Church to consider protecting the neighborhood housing stock by **building this new chapel within the 3 lot footprint rather than by tearing into the neighborhood** by purchasing and demolishing additional homes.

H. **Protection of historic features** – This area of the ECC is part of the National Historic District. While not part of the City Historic District, **the existing building is one of the most historic buildings of the area and is beloved by many of the neighbors. Any effort to protect the significant features of this historic building as seismic upgrades and other additions are made would be greatly appreciated.**

Dissenting reports.

The majority of the feedback from the Douglas Park Neighborhood felt that **only the one lot that is needed for the current building plans should be consolidated leaving the third lot (furthest north) as a stand-alone residential lot, so that future and additional public input and discussion could be had.** With the establishment of an ongoing working committee this concern can be mitigated as well.

If you have any questions please let us know.

In behalf of the Executive Board and General Membership,

East Central Community Council District



Gary Felt
Esther Hunter
Co-Chairs
Eastside Community Council & East Central Community Council District
(South Temple to 1700 South, 1350 East to 700 East, Salt Lake City)

Page | 4

cc Eastside Community Council and East Central Community Council District Exec. Bd.
Ed Dieringer
Douglas Park Google list